

2301 7th Avenue
Design Recommendation Meeting
DRB – Date: September 24, 2019
SDCI or Project Number: 3034280-LU



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Project Information

Property Address 2301 7th Avenue
Seattle, WA 98121

SDCI Project Number 3034280-LU

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Seattle, WA 98109
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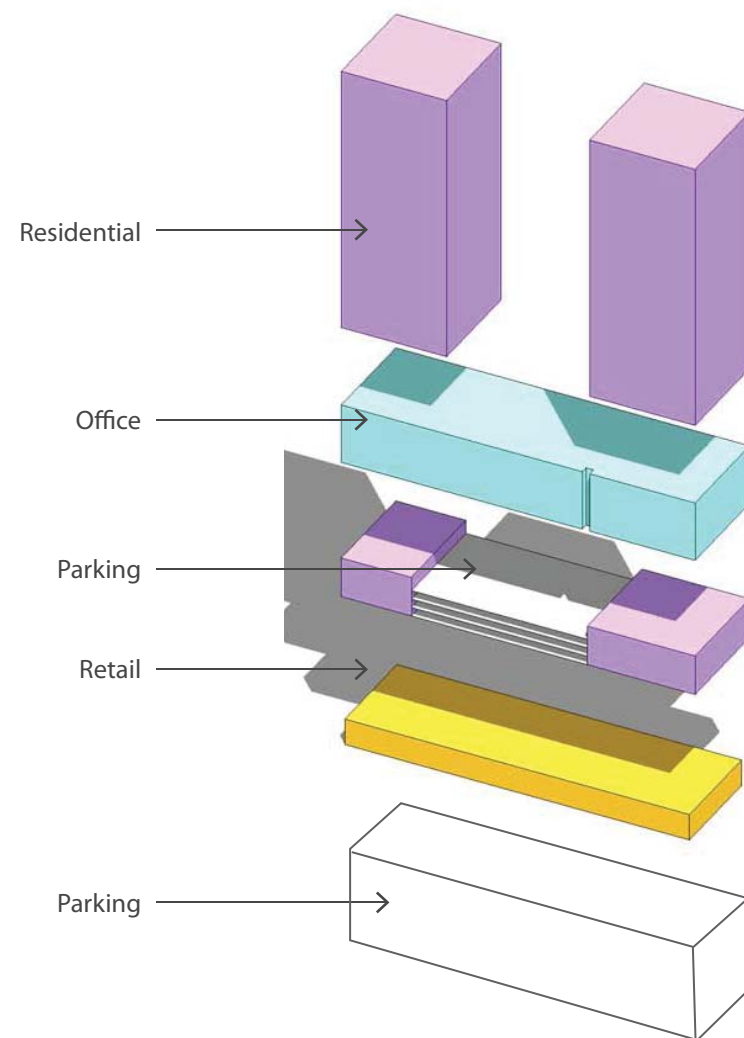
Architect Graphite Design Group
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Contact: Michael Medina
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www.graphitedesigngroup.com

Development Summary This applicant proposes to build a 42-story structure with 1,053,210 square feet of total above-grade construction, including approximately 315,823 SF of Office use, 9,526 SF of Retail use, and approximately 659 Residential Units. Parking for 543 cars will be provided below grade for 7 levels. Primary pedestrian entries for the project will be along Bell Street and Battery Street for Residential use and along 7th Avenue for Office use. Automobile entries will be from the alley bordering Bell Street and Battery Street. Four loading berths and trash and recycling facilities will also be accessible from the alley.

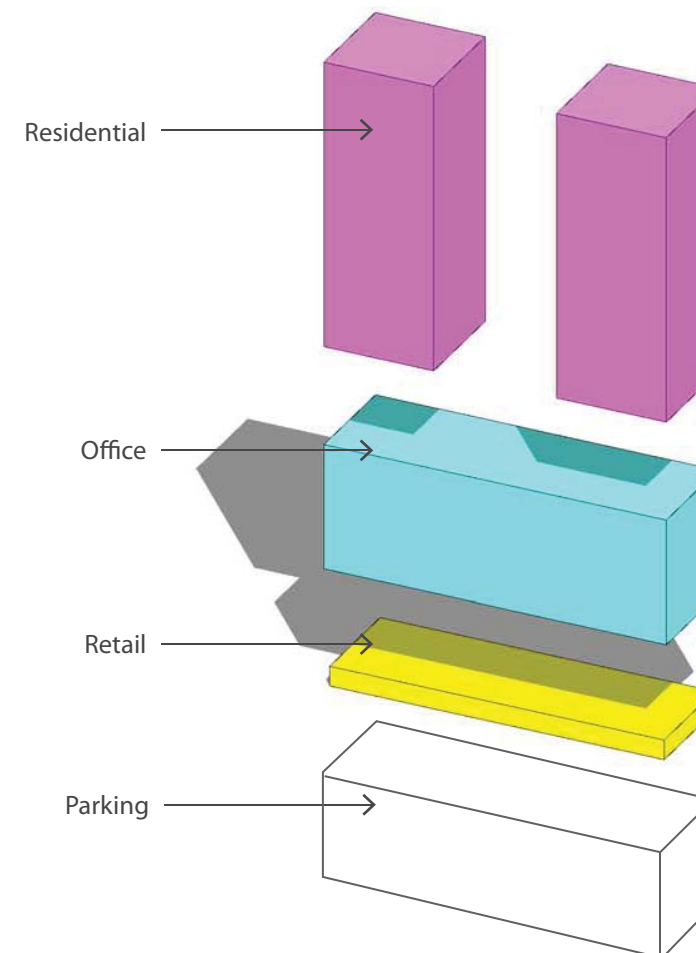
Why are we here?

We are here to update a **MUP Approved Design** (*MUP # 3019371*) to better reflect new ownership's business plan as well as Seattle's new zoning codes. It was determined by planning staff that the design updates were just beyond the threshold of the term "extrusion of towers" and that a 2nd REC meeting would be required. This packet will illustrate the differences as well as the similarities between **MUP Approved Design** and **Proposed Design**.

MUP Approved Design



Proposed Design



MUP Approved Design

Project Stats:

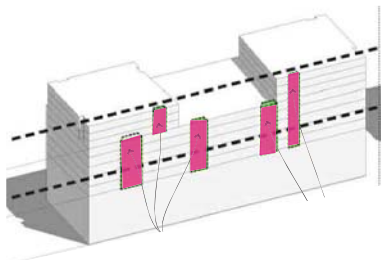
Overall Project	980,919 s.f.
Commercial Office	174,176 s.f.
Residential (638 units)	712,205 s.f.
Retail	10,509 s.f.
Above Grade Parking	80,088 s.f.

Schedule:

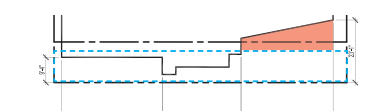
EDG Approval	April 07, 2015
DRB Approval	January 19, 2016
Approved MUP	April 11, 2017

Requested Departures:

Approved



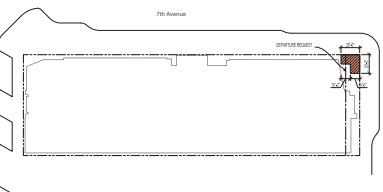
Departure Request 1:
23.49.058 Upper-Level Development Standards
B. Facade Modulation



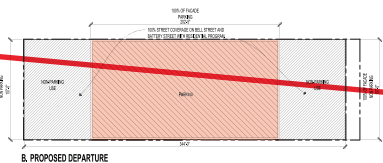
Departure Request 2:
23.49.056 Street Facade, Landscaping, and
Street Setbacks
B. Facade Setback Limits



Departure Request 3:
23.49.056 Street Facade, Landscaping, and
Street Setbacks
A. Minimum Facade Heights



Departure Request 4:
23.49.056 Street Facade, Landscaping, and
Street Setbacks
A. Minimum Facade Heights



Departure Request 5:
23.49.019 Parking Screening
B3. Separation of Parking Located above
street-level story

Proposed Design

Project Stats:

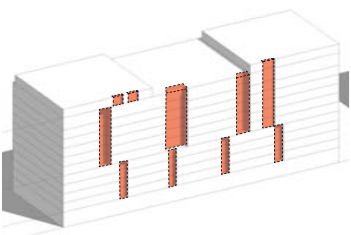
Overall Project	1,053,210 s.f.
Commercial Office	315,823 s.f.
Residential (659 units)	720,731 s.f.
Retail	9,526 s.f.
Above Grade Parking	0 s.f.

Schedule:

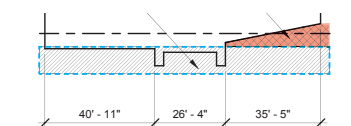
DRB Meeting	September 24, 2019
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Requested Departures:

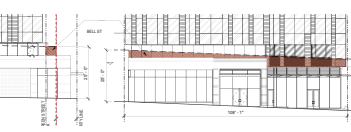
Approved



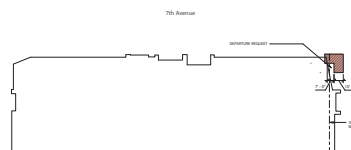
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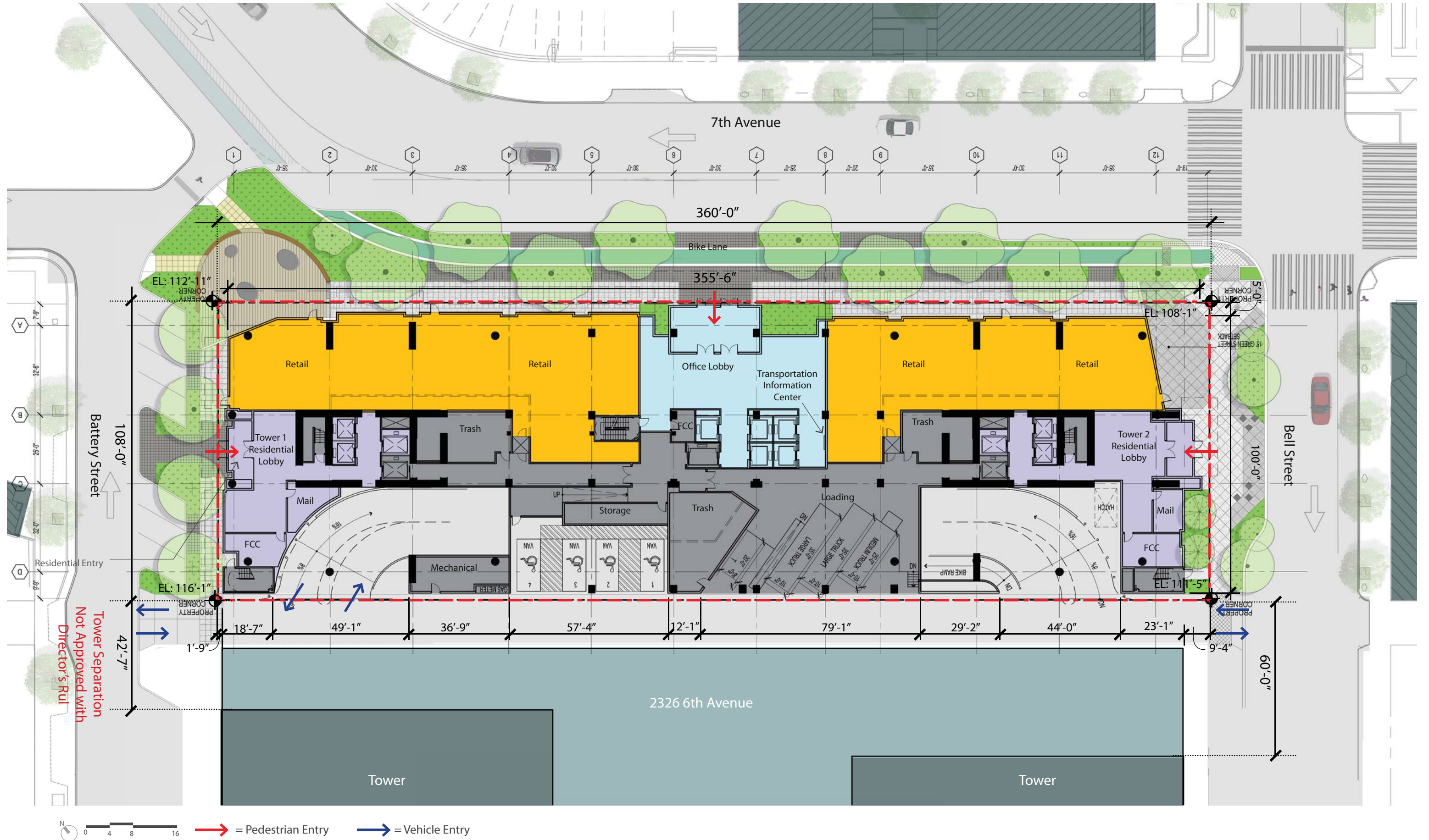
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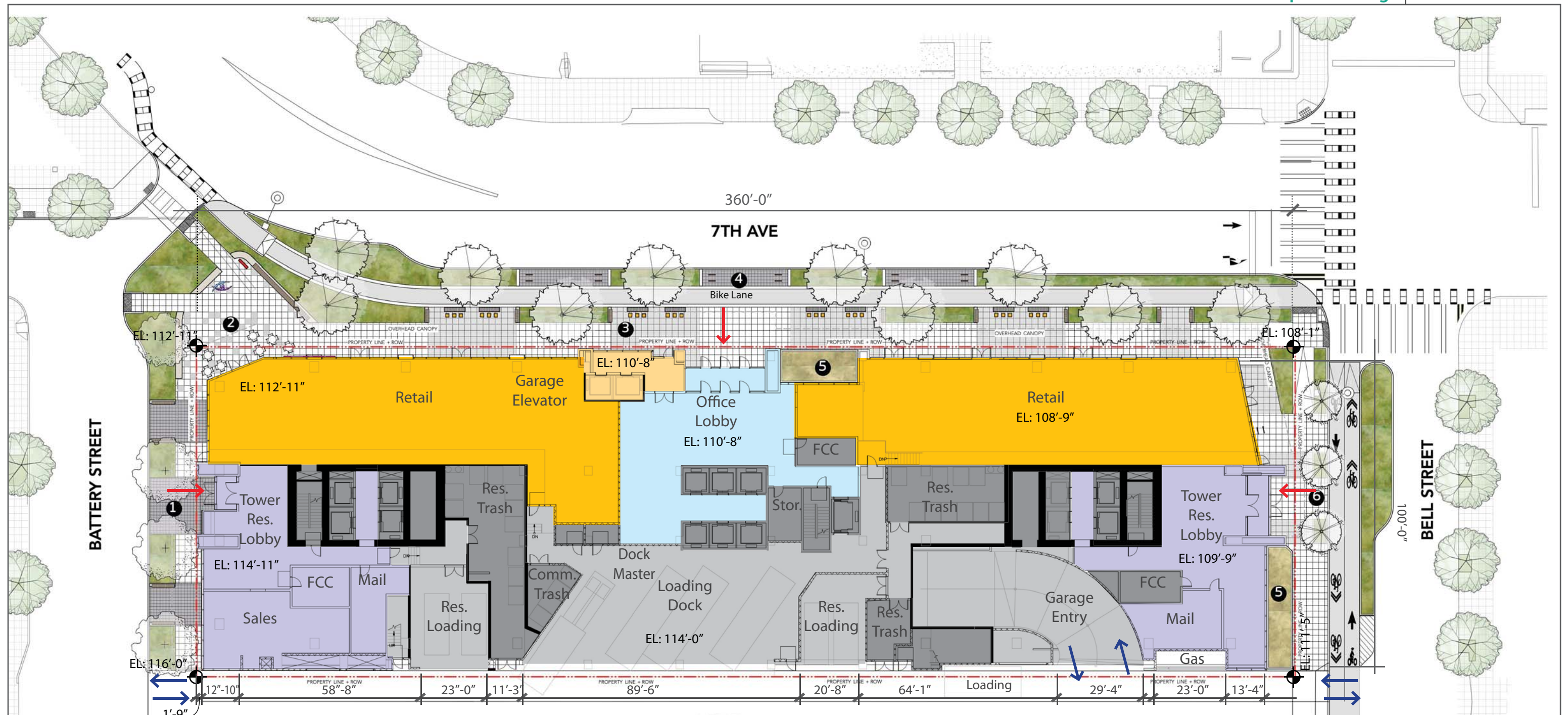


Departure Request 3:
23.49.056 Street Facade, Landscaping, and
Street Setbacks
A. Minimum Facade Heights



Departure Request 4:
23.49.056 Street Facade, Landscaping, and
Street Setbacks
A. Minimum Facade Heights





0 4 8 16
 — = Pedestrian Entry — = Vehicle Entry



Approved MUP Design



Proposed Design



Approved MUP Design



Proposed Design

Benefits of Parking Removal

Removal of above grade parking provides many benefits to both project and neighborhood.

- Parking facade treatment is now replaced with transparent glazing on both 7th Avenue and Alley.
- Added commercial office program creates a true mixed-use project, adding to the 24/7 street/sidewalk activity.
- Contiguous office plates at lower levels simplifies vertical transportation through the podium.

Design Comparison

Below Grade Parking

- **Approved MUP Design**
 - Above and below grade parking.

- Proposed Design**
 - All below grade parking.



Approved MUP Design



Proposed Design

Design Comparison

HALA/MHA Incentives

Proposed Design

- Increase Commercial Office FAR to 8.
- Increase Residential Tower heights to 440'.



Approved MUP Design



Proposed Design



7th Avenue

Approved MUP Design



7th Avenue

Proposed Design

Design Comparison

Additional Balconies

Approved MUP Design

- Balconies only located on 7th Avenue, Bell and Battery Streets.

Proposed Design

- Balconies located around entire project, increase tower modulation and activity. Juliet balconies effectively become large operable windows to the outside while still blending into the building design.



Approved MUP Design (Alley view)



Proposed Design (Alley view)

Architectural Design - Tower and Podium

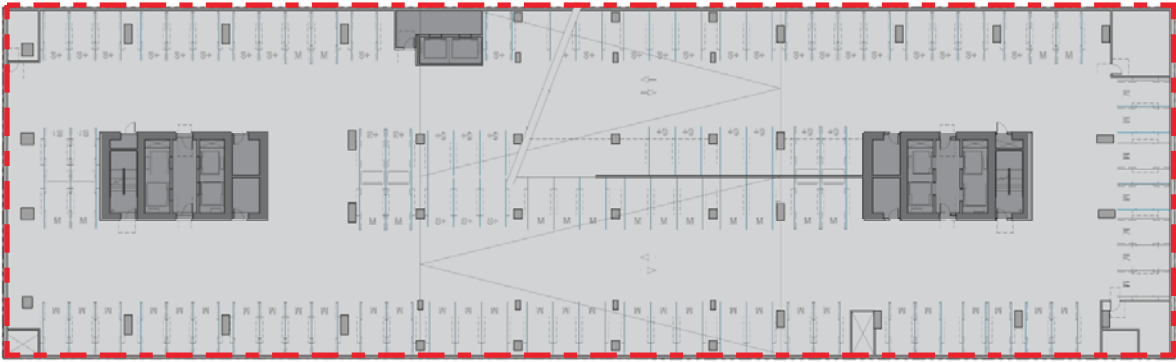




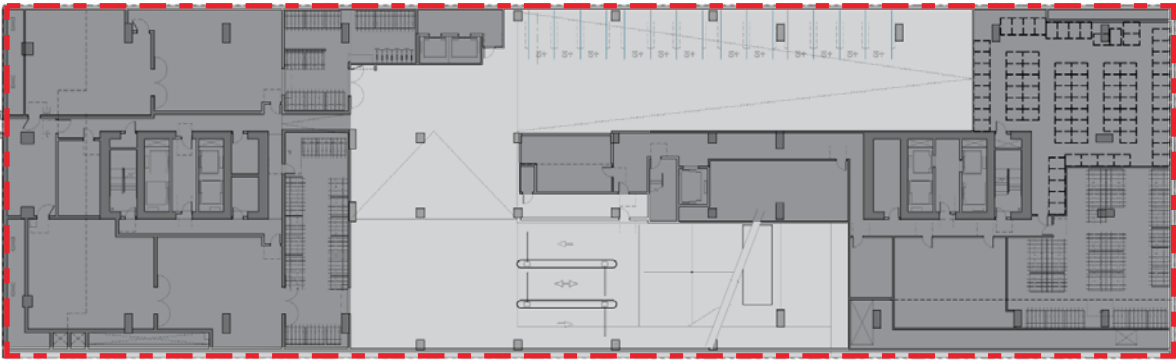




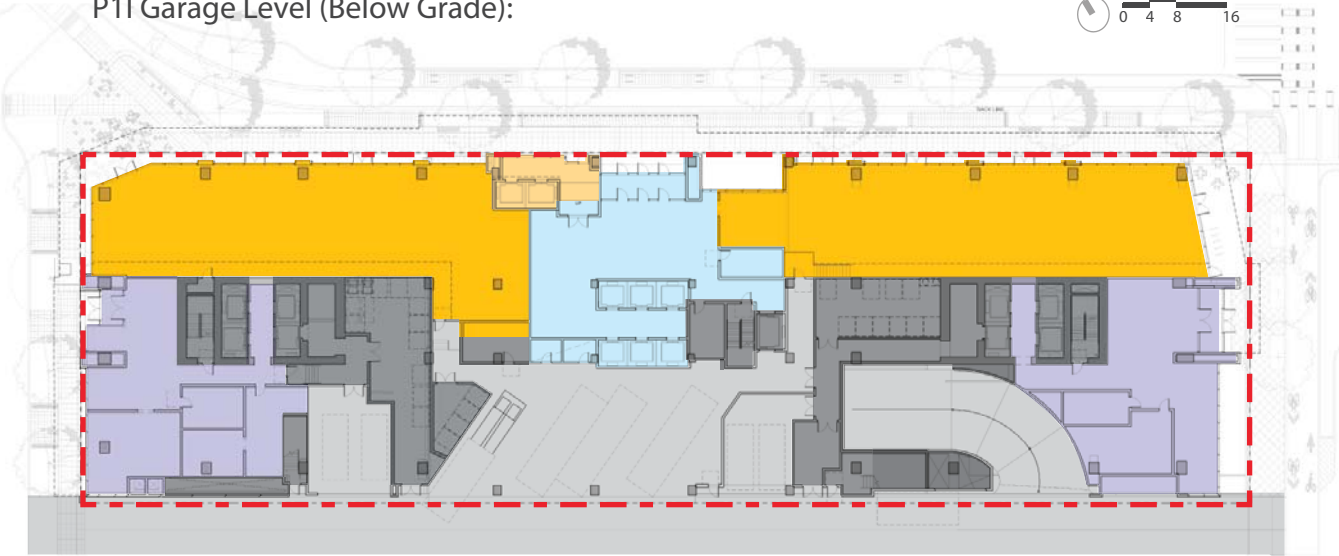




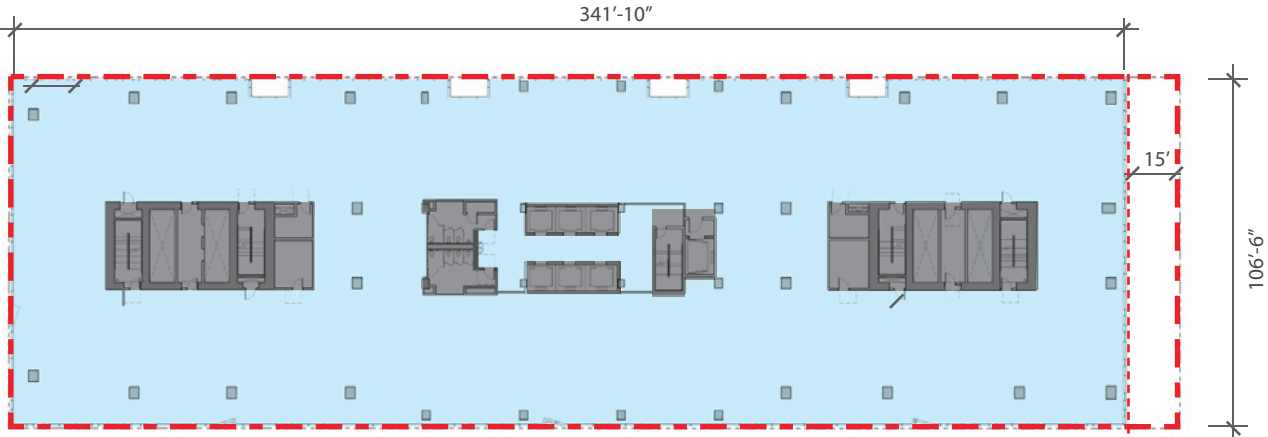
Typical Garage Level (Below Grade):



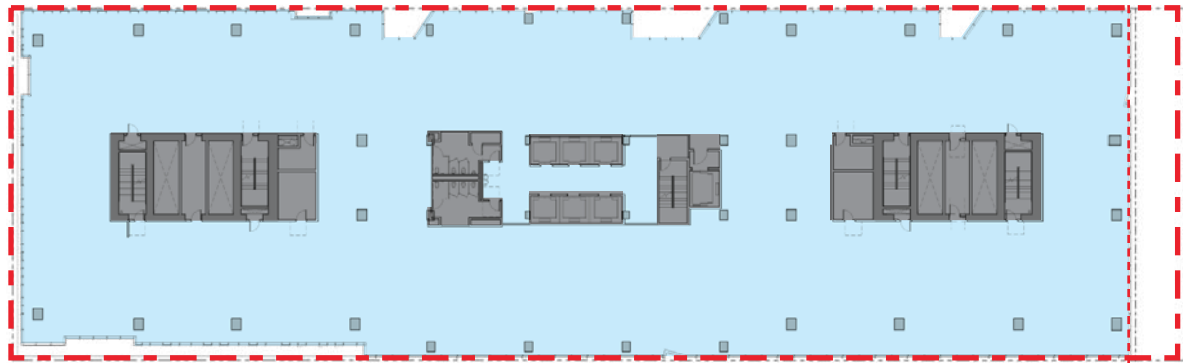
P11 Garage Level (Below Grade):



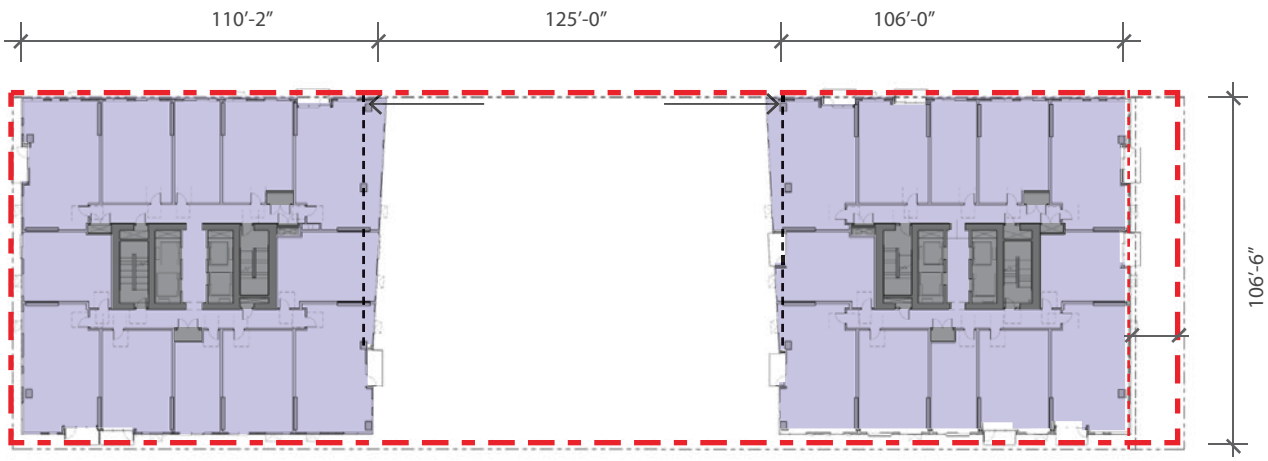
Ground Level:



Typical Office Level (2-5):

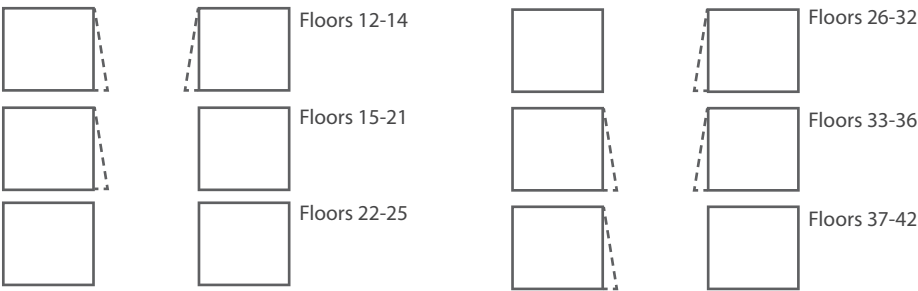


Typical Office Level (6-11):



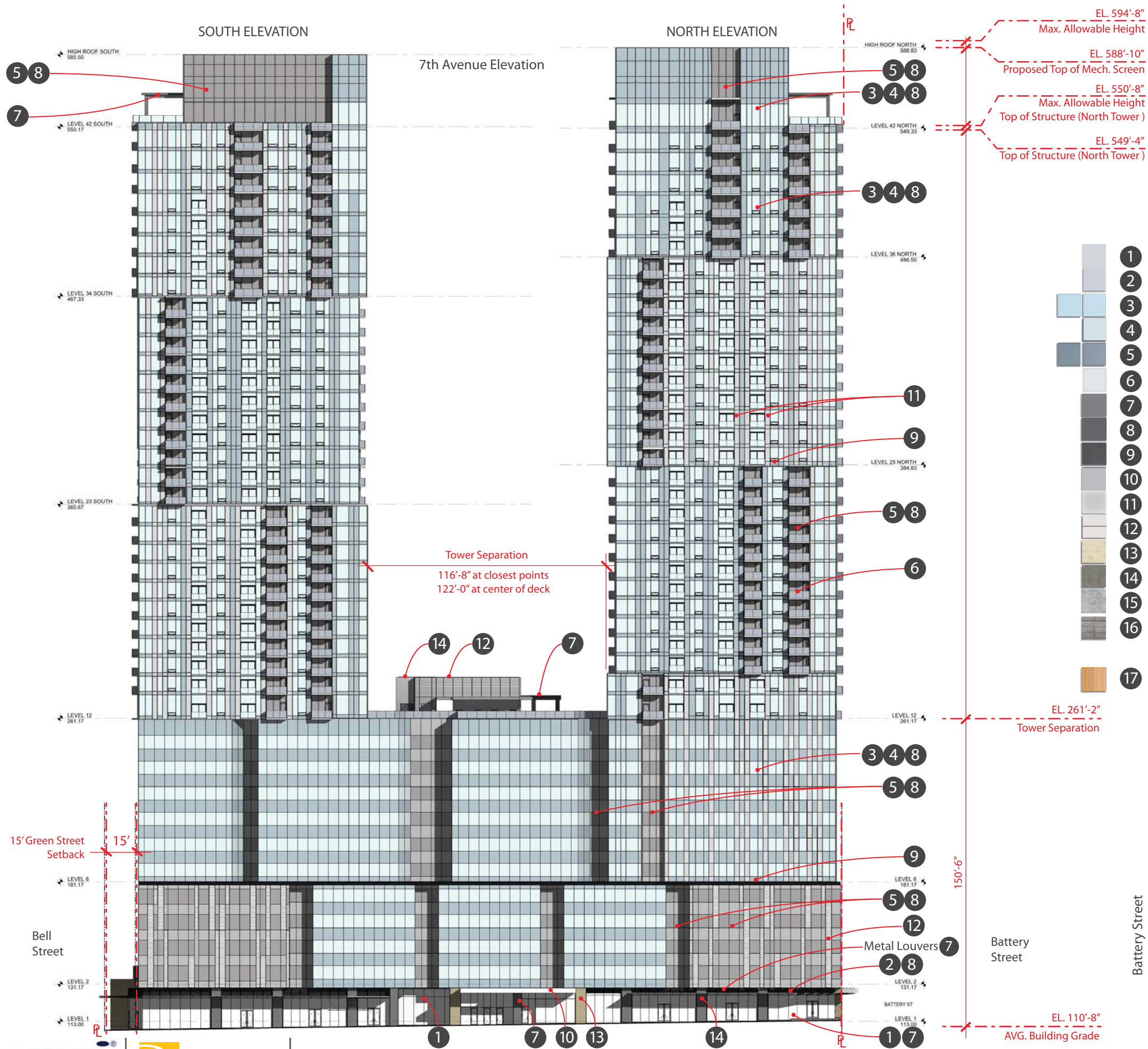
Typical Residential Tower Level (13-42):

Tower Plan Tilt Diagram:



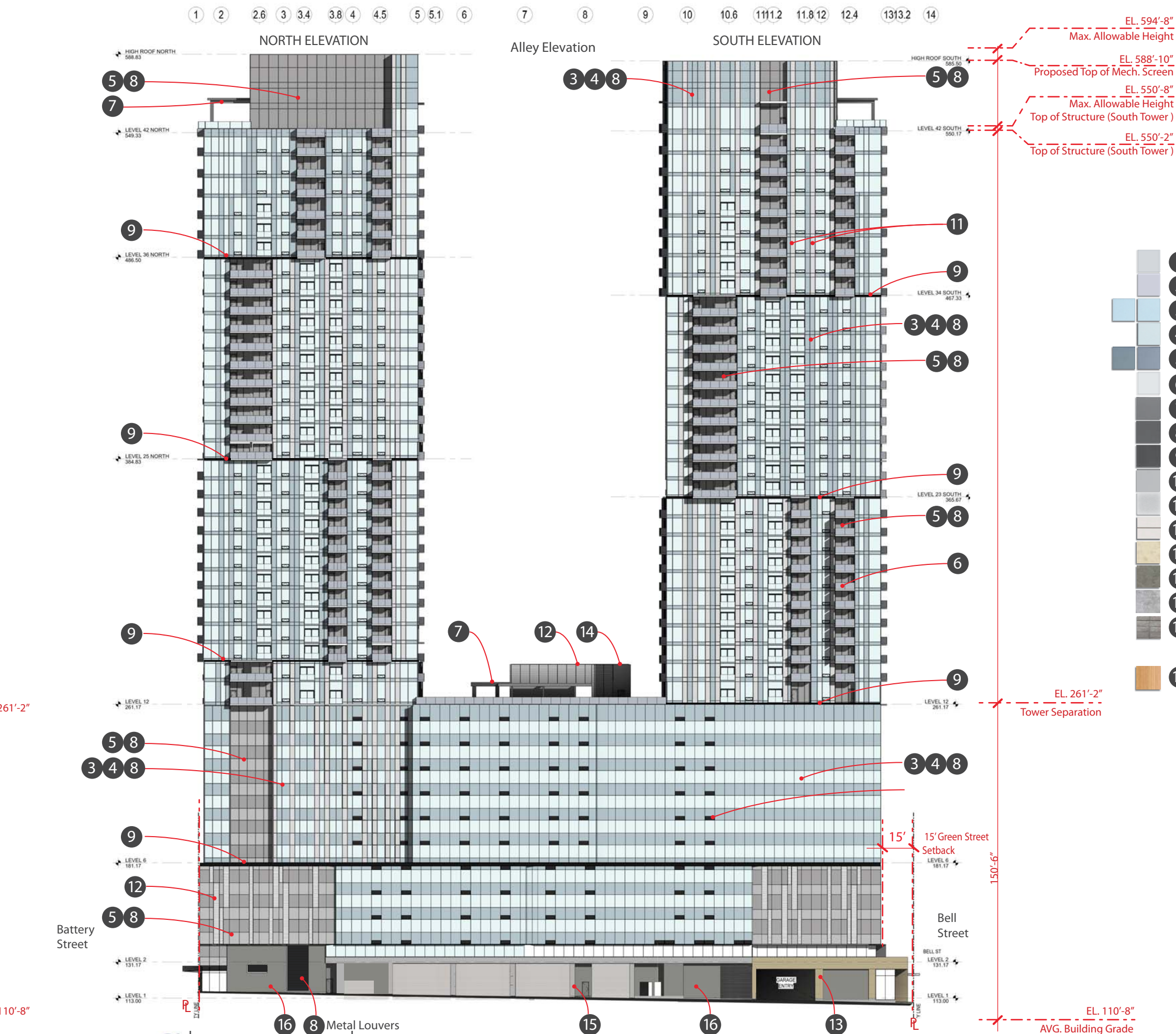
- Retail
- Lobby
- Office
- Residential
- Hotel
- Parking
- MEP/BOH

7th Avenue Elevation



Keynotes		
1	GL-1 and spandrel	Aluminum Retail Store Front
2	GL-2 laminated w/frit	Canopy Glass (Laminated with Frit)
3	GL-3 and spandrel	Residential and Office Low-E Glazing
4	GL-4 spandrel	Residential Spandrel Glazing
5	GL-5 and spandrel	Recess and Bell/Battery Low-E Glazing
6	GL-6 laminated w/ frit	Balcony Glass
7	MTL-1	Light Gray - Grnd. Level Mullions Podium Mtl.Panels
8	MTL-2	Medium Gray - Tower Mullions
9	MTL-3	Dark Gray - Tower/Podium Bands
10	MTL-4	Entry Canopies
11	MTL-5	Vertical Metal Panel
12	Terra Cotta	White - Bell and Battery Datum
13	ST-1	Light Creame Stone- Ground Level Entries
14	ST-2	Grey Stone
15	CONC-1	Poured-in Place Concrete
16	CMU	Concrete Masonry Units - Alley and Ground Level
17	WD-1	Composite Wood Soffits - L12 and L42

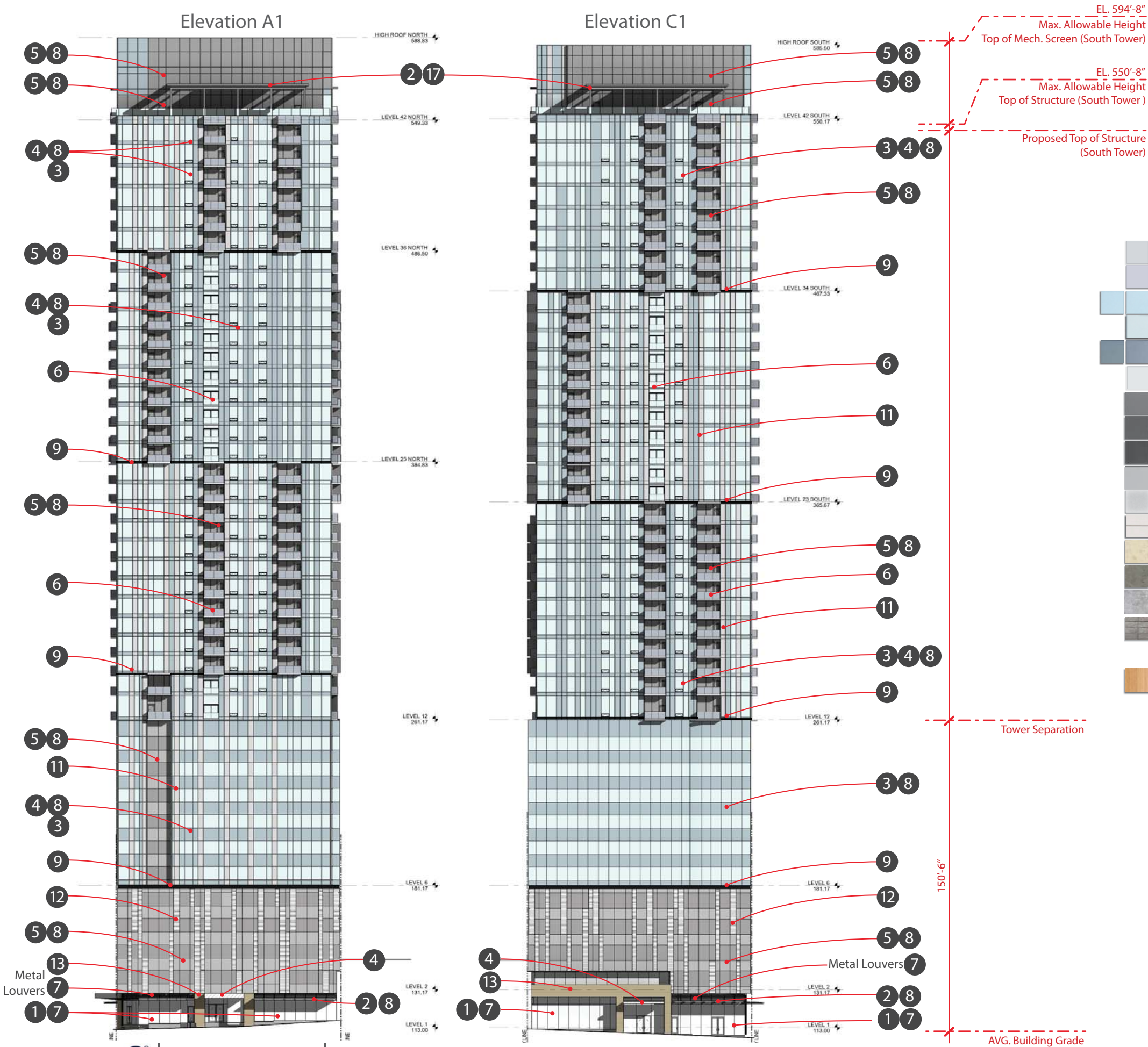




Keynotes	
GL-1 and spandrel	Aluminum Retail Store Front
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GL-3 and spandrel	Residential and Office Low-E Glazing
GL-4 spandrel	Residential Spandrel Glazing
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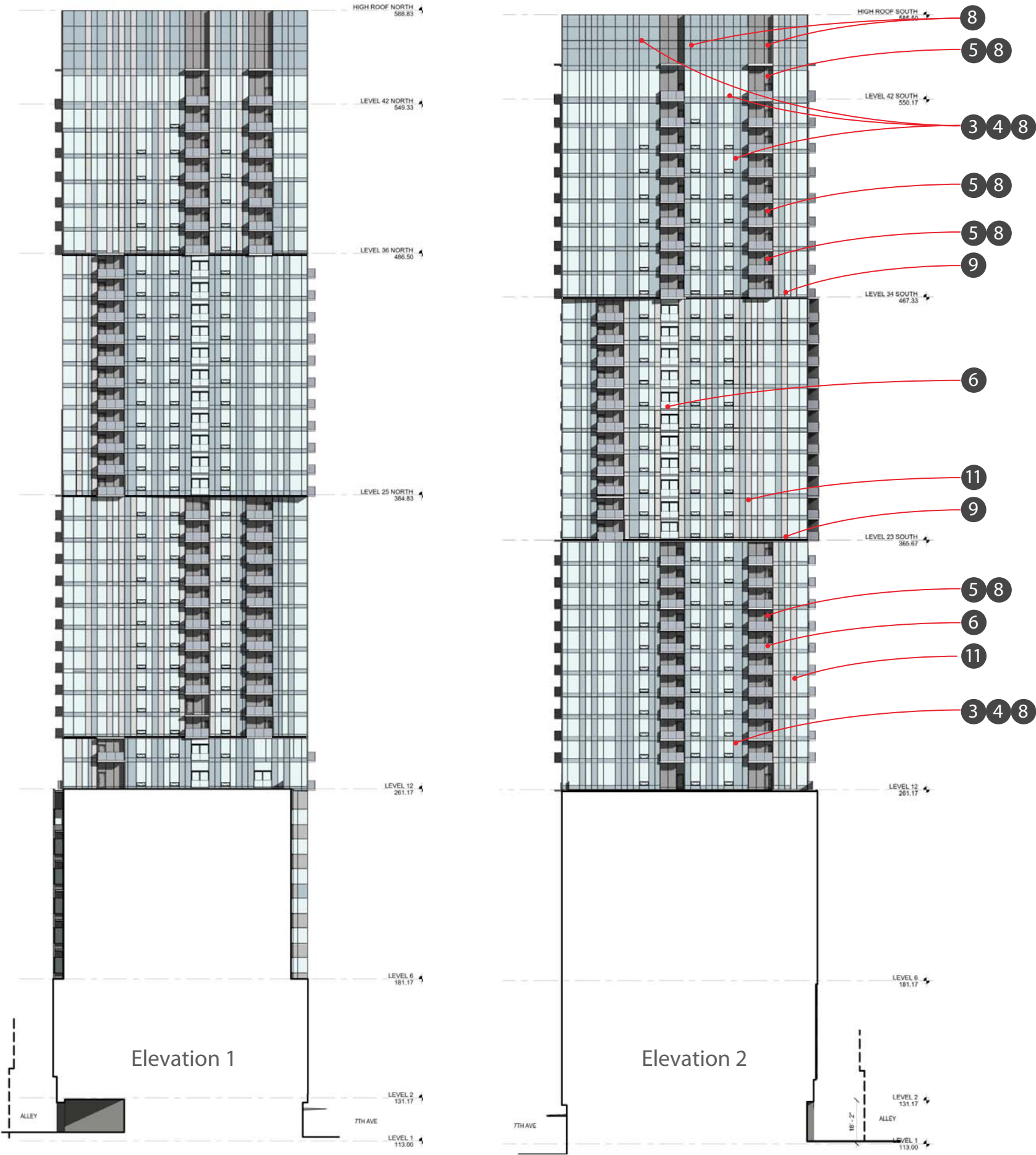
Battery Street Elevation
Bell Street Elevation



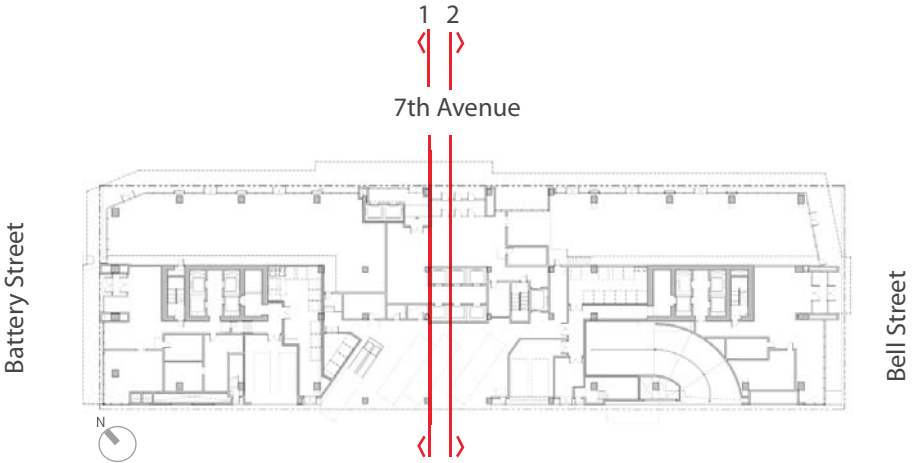
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Internal Elevations



Keynotes		
1	GL-1 and spandrel	Aluminum Retail Store Front
2	GL-2 laminated w/frit	Canopy Glass (Laminated with Frit)
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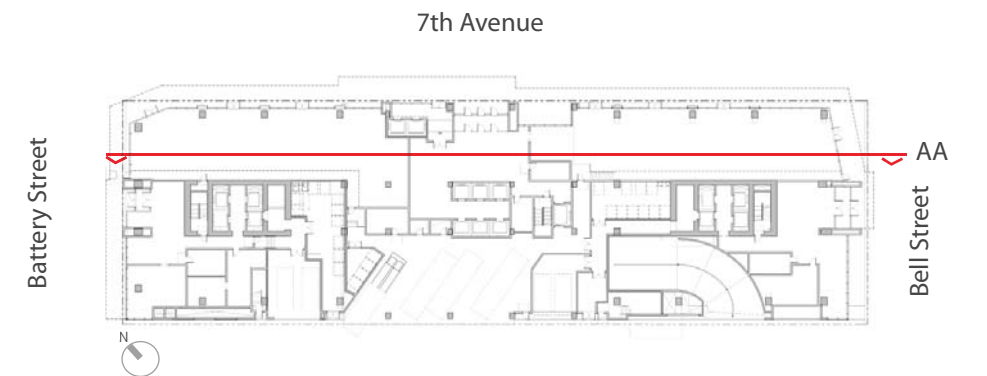
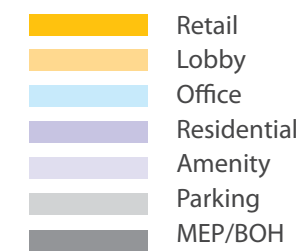
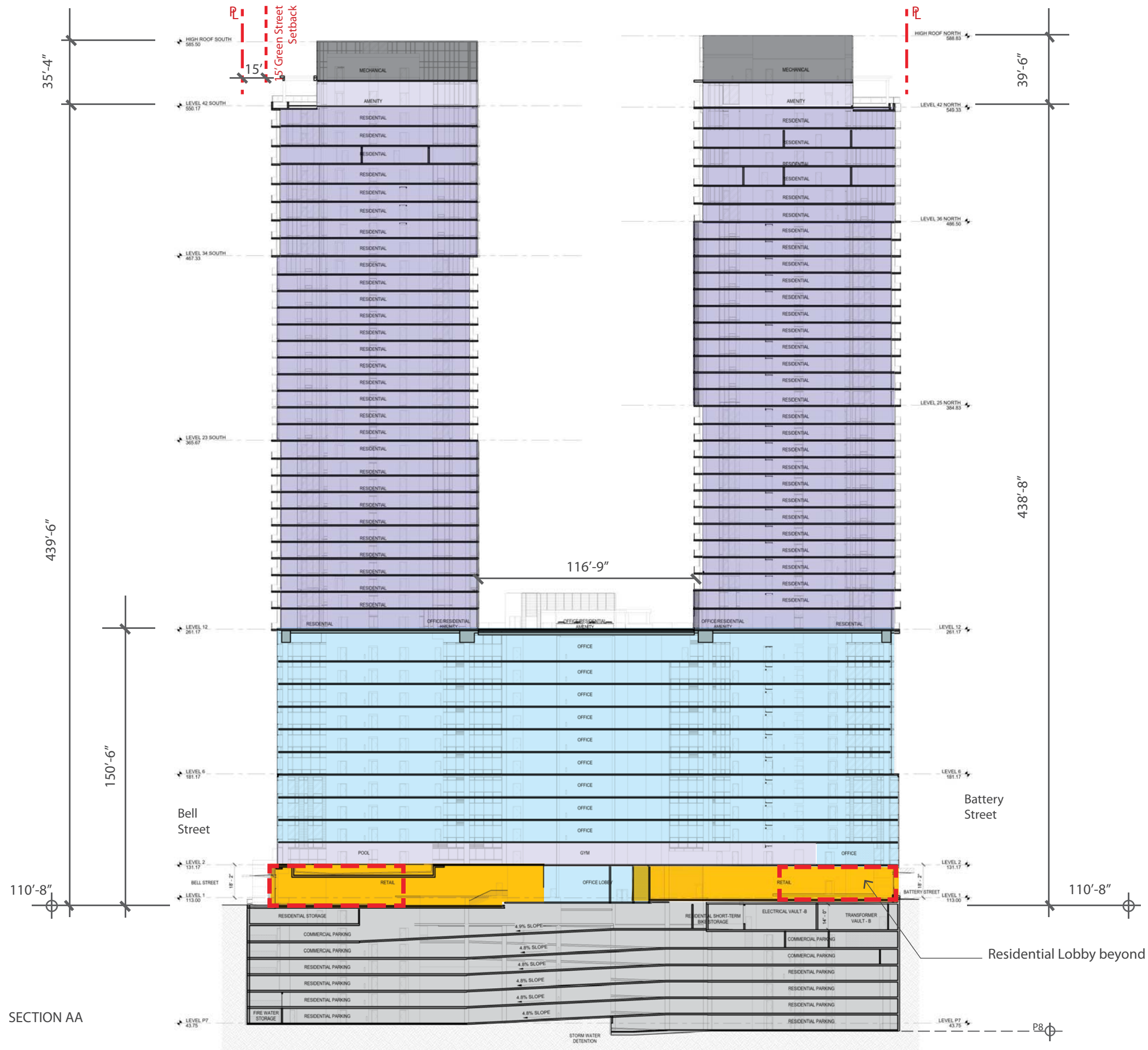


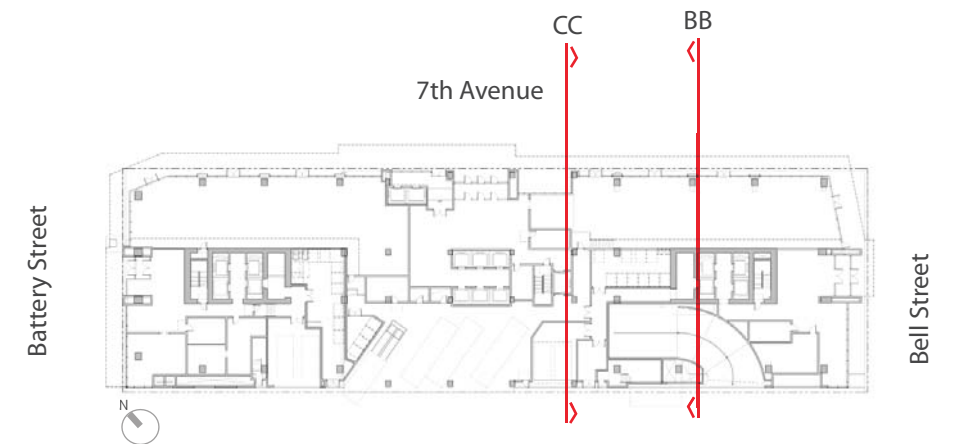
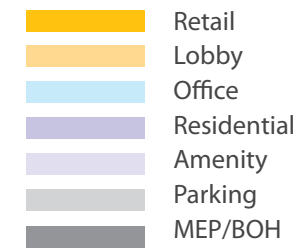
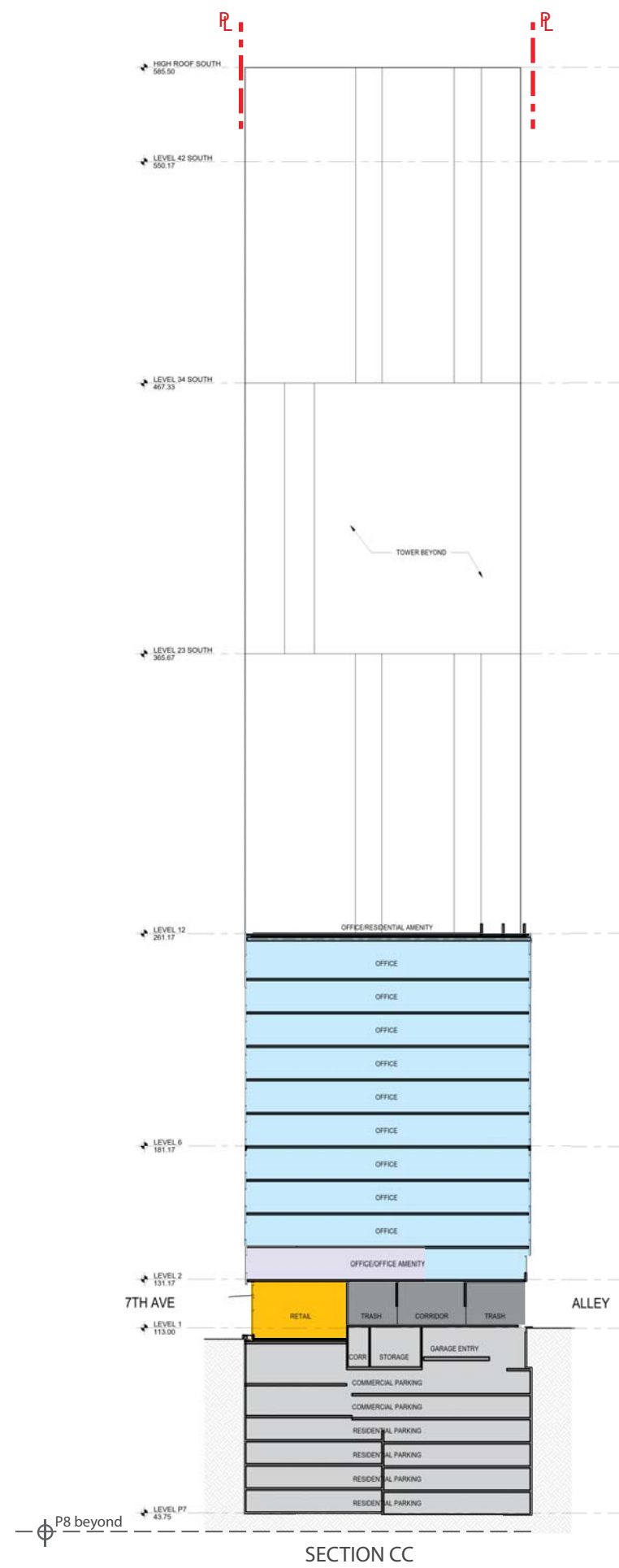
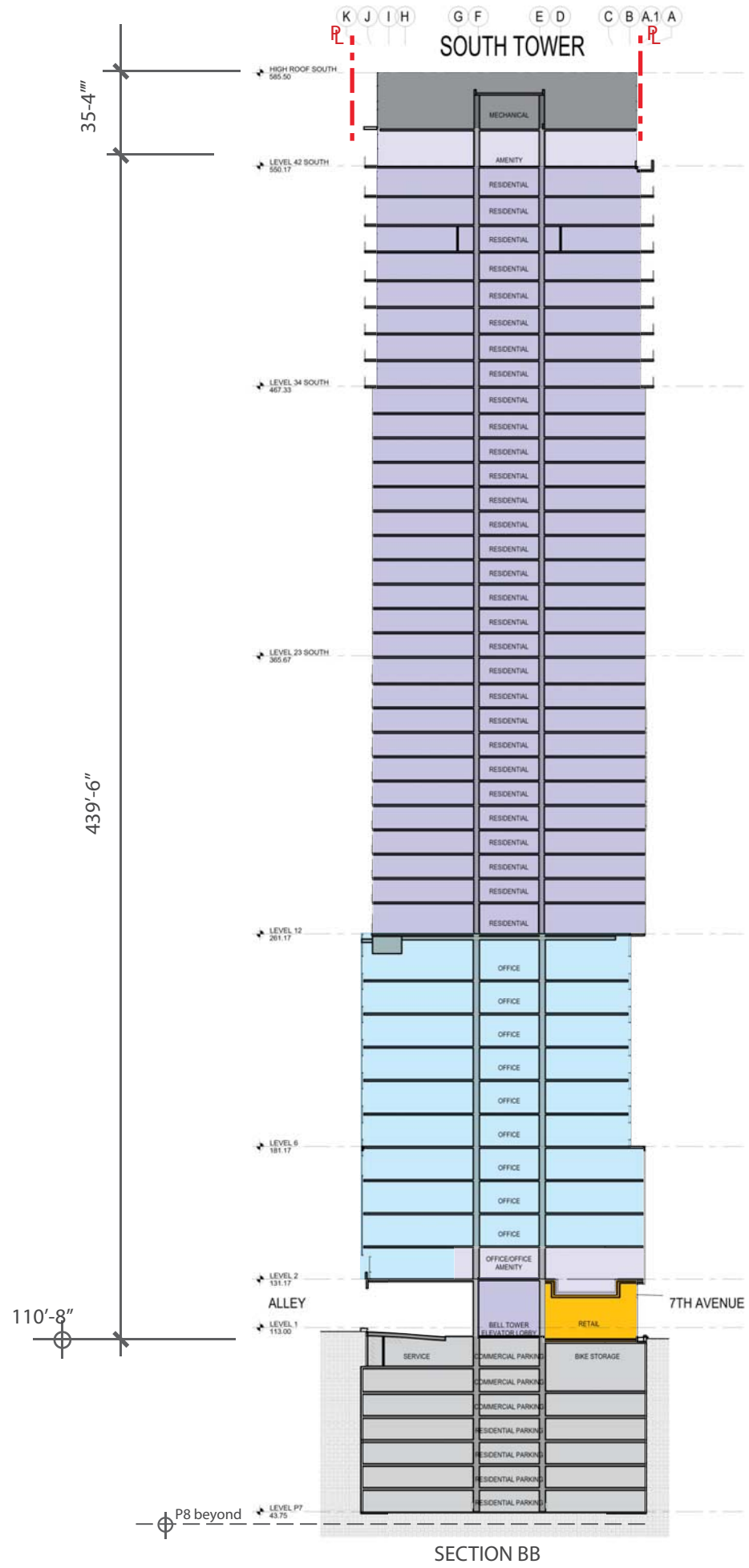


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Glass color shown are cropped photos of actual glass samples photographed during a clear day and out of direct sunliht. Actual samples will be brought to DRB REC meeting







Landscape Design

DESIGN RATIONALE - Ground Level

The design intent for the Ground Level is to provide easily navigable pathways for pedestrians and cyclists, a multitude of places to sit and linger, and opportunity for small events in the Northern plaza space.

The SDOT sidewalk is lined with cube seating with custom tables, and custom concrete wood-topped benches between the bike path and sidewalk. Trees with soil cells will be provided to maximize tree growth along each street.

There is a small plaza located at the Northeast corner of the site. This space contains proposed feature public art, custom wood-topped CIP concrete benches, a digital media sign, and moveable seating. Users will be surrounded by lush planting to assist in buffering the sounds and smells of the adjacent urban environment. The paving is designed to show clear paths from the sidewalks running along the building to the crosswalks on the opposite sides of the plaza.

DESIGN RATIONALE - Level 12 Amenity

The design intent for the Level 12 outdoor amenity space is to provide a space suited for both office and residential users. For the most part, it has been designed to be a shared space for both types of users, with most areas programmed for multiple uses with an emphasis on social interaction.

The southwest portion of level 12's amenity deck is intended to be a space where users can meet, work, eat and relax during office hours, with moveable furniture allowing for the option for corporate events. A covered bbq/outdoor kitchen area provides support for such events. This theme continues into the north-western portion of the site with lounge seating and moveable work spaces. Along the West edge of the deck are proposed bio-filtration planters intended to collect and absorb rainwater from the upper levels above.

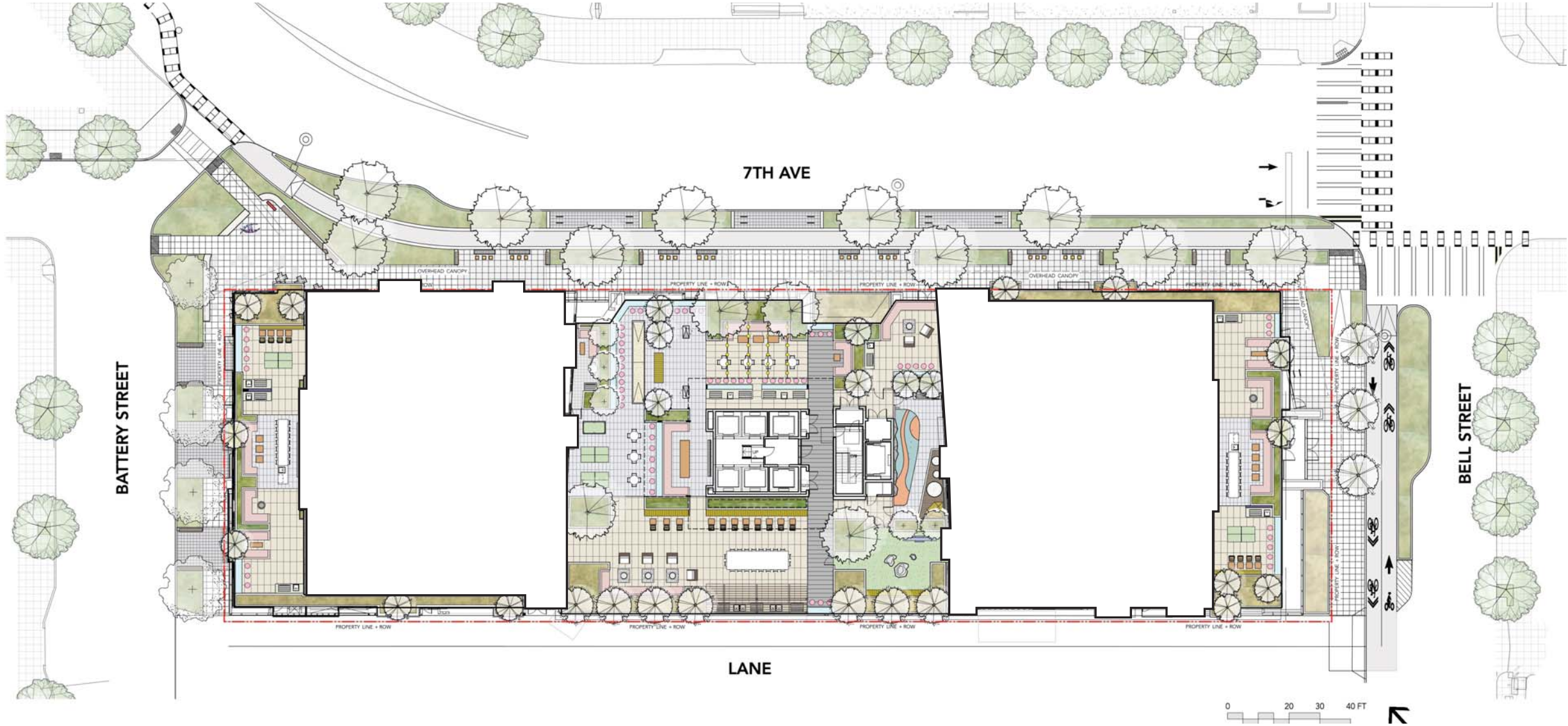
East of this space, along the amenity deck's north edge, is a proposed outdoor games area, along with a social/outdoor cinema + TV area using the elevator building as a backdrop. Included in the most north-western portion, is a horseshoe pit, shuffleboard, custom seating and stool seating with bar-style tables

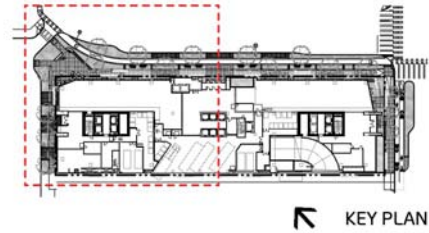
Moving eastward one transitions to the residential amenity area, designed as a predominantly social/gathering space, both for larger events and intimate conversations. A covered bbq area, moveable seating, intimate catenary lighting, and lookout stool seating support this intention. At the southeast corner, adjacent to the dog care space, is a proposed dog run area. Moving south, is a proposed outdoor child play area with various climbing and play structures on poured-in-place rubberized surfacing.

DESIGN RATIONALE - Level 42 Amenity

















Level 42 hosts one residential amenity deck per tower. These decks are nearly mirrored, programmed for the same type of spaces to suit the residents needs. At the western side of the building (top), there is a bioretention planter provided with a fire pit lounge area. Along the edges of the building are perennial and grass planters to provide a softer edge.

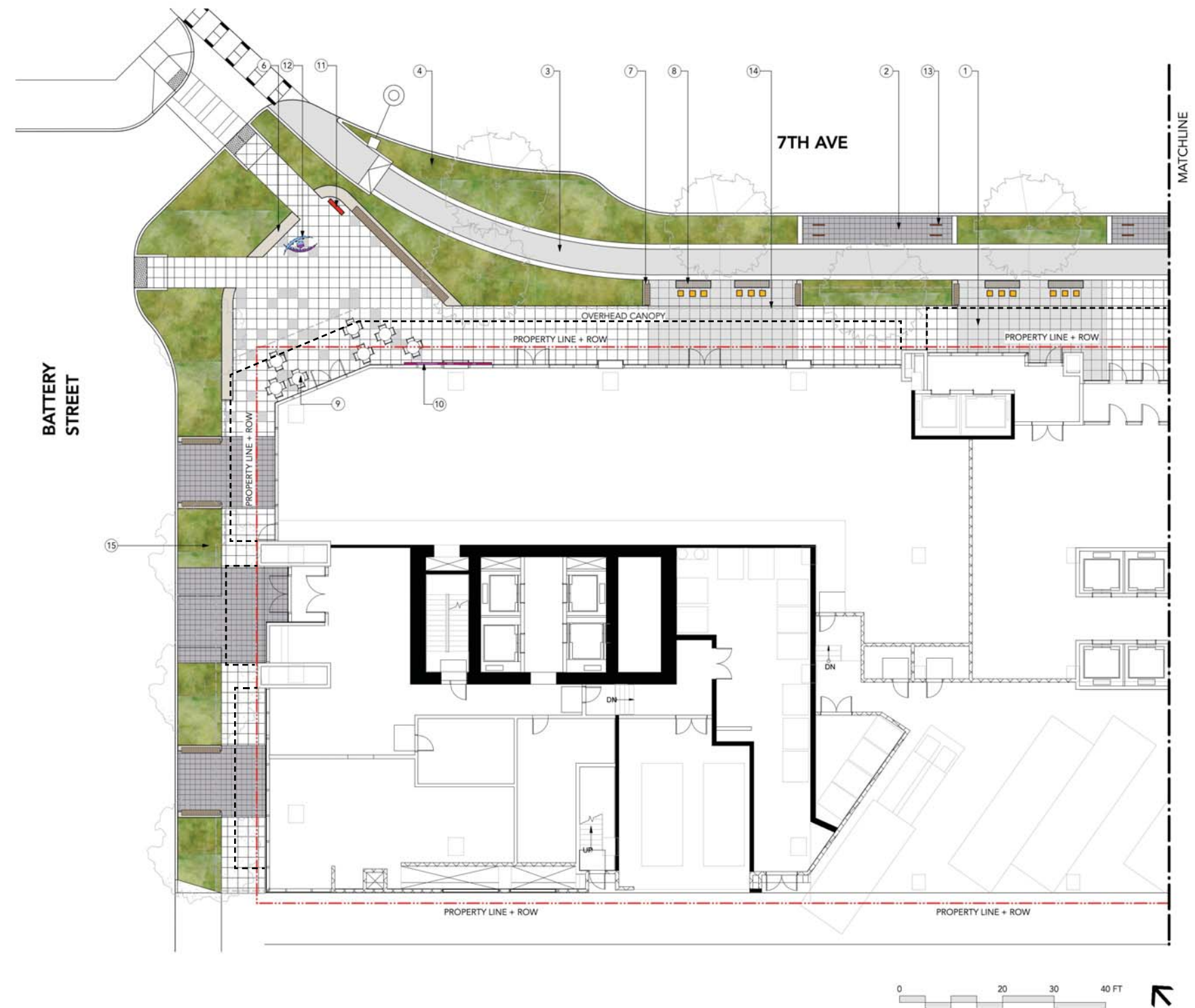
Towards the edges of the level 42 amenity decks are table tennis which will provide entertainment for the residents while others may work and watch at the adjacent tables and benches. Bar-style tables with stool seating are provided to view the surrounding landscape of Block V.





GROUND LEVEL LAYOUT + MATERIALS LEGEND

SYMBOL	DETAIL KEY	DESCRIPTION
1		PAVING TYPE 1: ONSITE/OFFSITE PAVING 2' x 2' CIP Concrete per SDOT Standards. Color varies: Natural + Charcoal as shown
2		PAVING TYPE 2: ACCENT PAVING CIP Concrete per SDOT Standards with Integral color 1' x 1' non-standard scoring / finish
3		PAVING TYPE 3 - BIKE PATH Asphalt with 6" thick, broom finish concrete retaining curbs, flush with asphalt, refer to civil drawings
4		IN-GROUND LANDSCAPE BED Min. soil depth 24" for shrubs, 36" for trees on scarified sub-grade
5		IN-GROUND BIOFILTRATION SWALE Non-infiltrating bioretention facility with vertical sides. 18" min. bioretention soil
6		SEATING TYPE 1: CONCRETE SEAT WALL 18" HT CIP concrete seat wall, architectural finish
7		SEATING TYPE 2: Concrete Seat wall, architectural finish with thermally modified wood top
8		SEATING TYPE 3: Streetscape cube lit seating and custom metal table
9		SEATING TYPE 3: Cafe Style Seating, By Owner
10		ART WALL
11		DIGITAL MEDIA SIGN
12		PUBLIC ART - *PROPOSED PUBLIC ART*
13		BIKE RACK MultiCITY Bike Rack by Landscape Forms
14		ARCHITECTURAL CANOPY Above - Refer to architecture
15		PROPOSED TREES
16		EXISTING TREE TO REMAIN + PROTECT

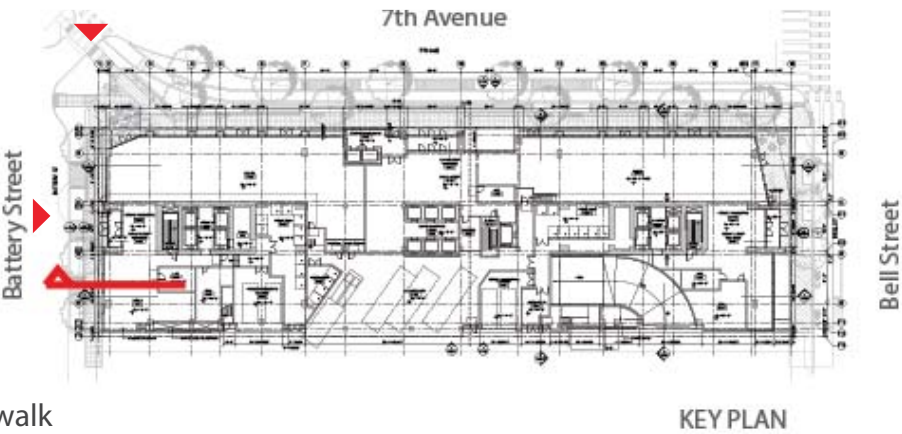
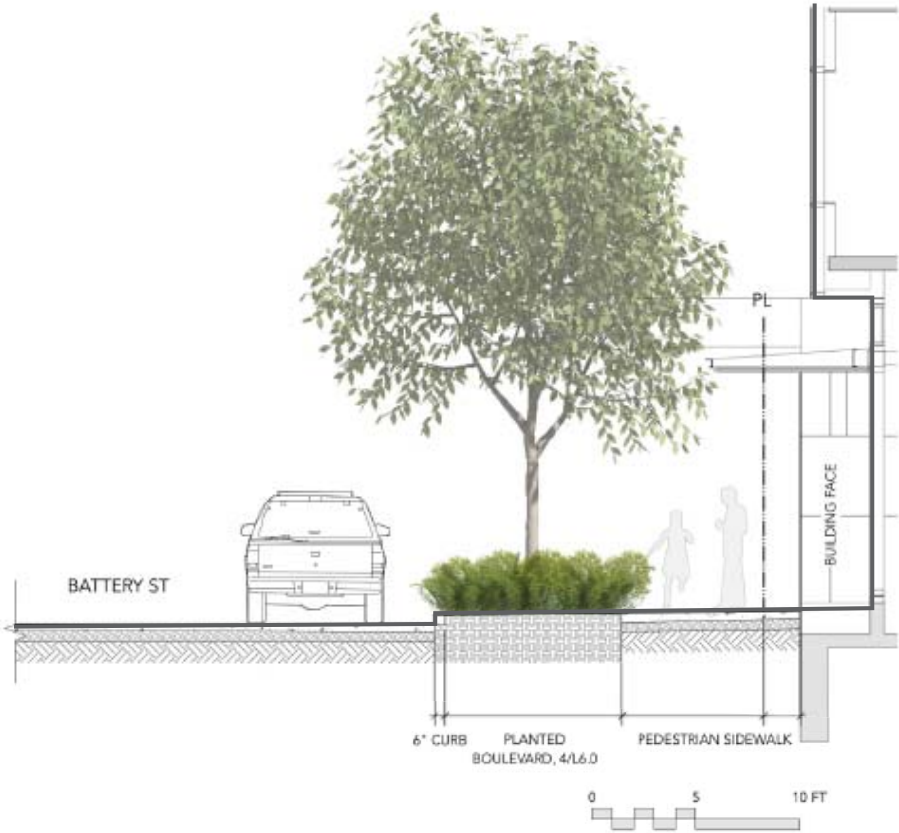




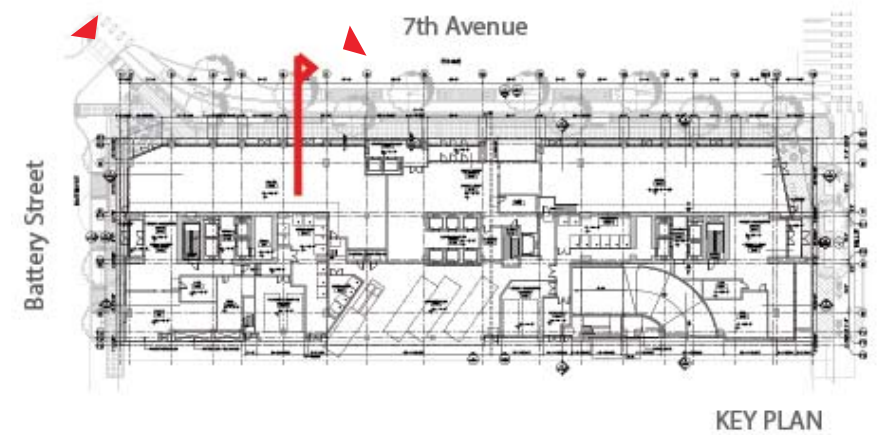
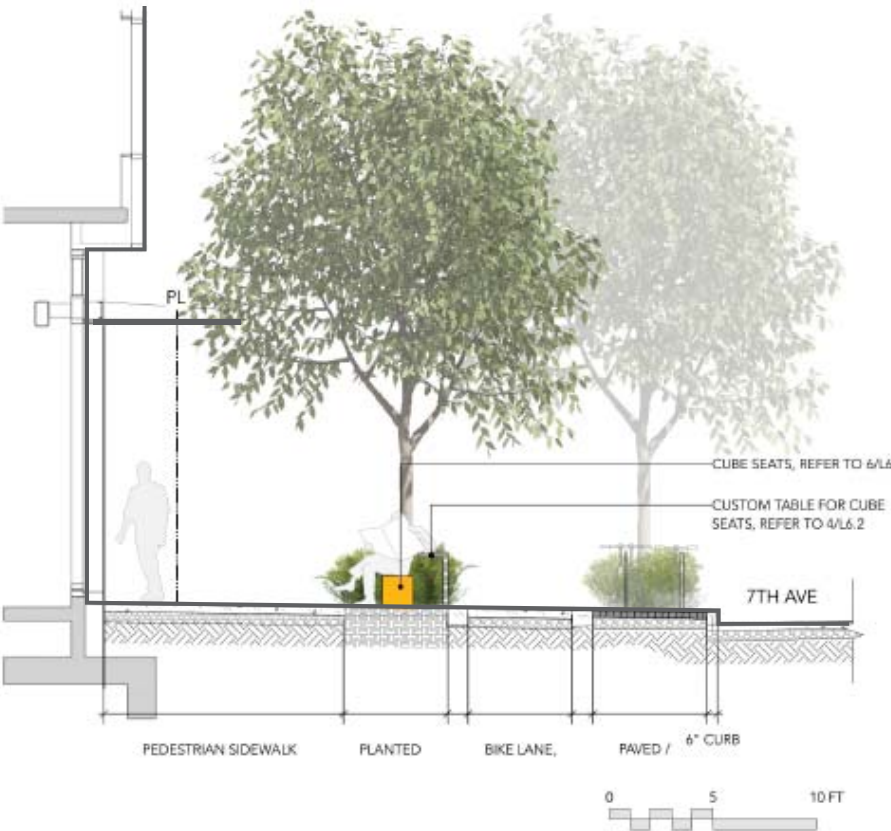
Battery Street

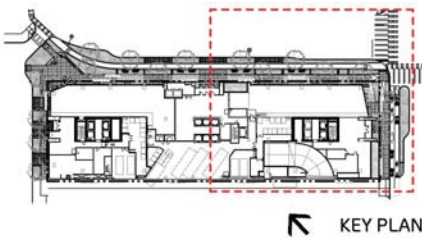
Activate the retail space along Battery Street with the design of the street.

The facade along Battery Street directs the pedestrian with a playful angle opening up to 7th Avenue. The combination of residential lobby, retail corner, robust landscape, and corner plaza will have extensive activity through out the day.

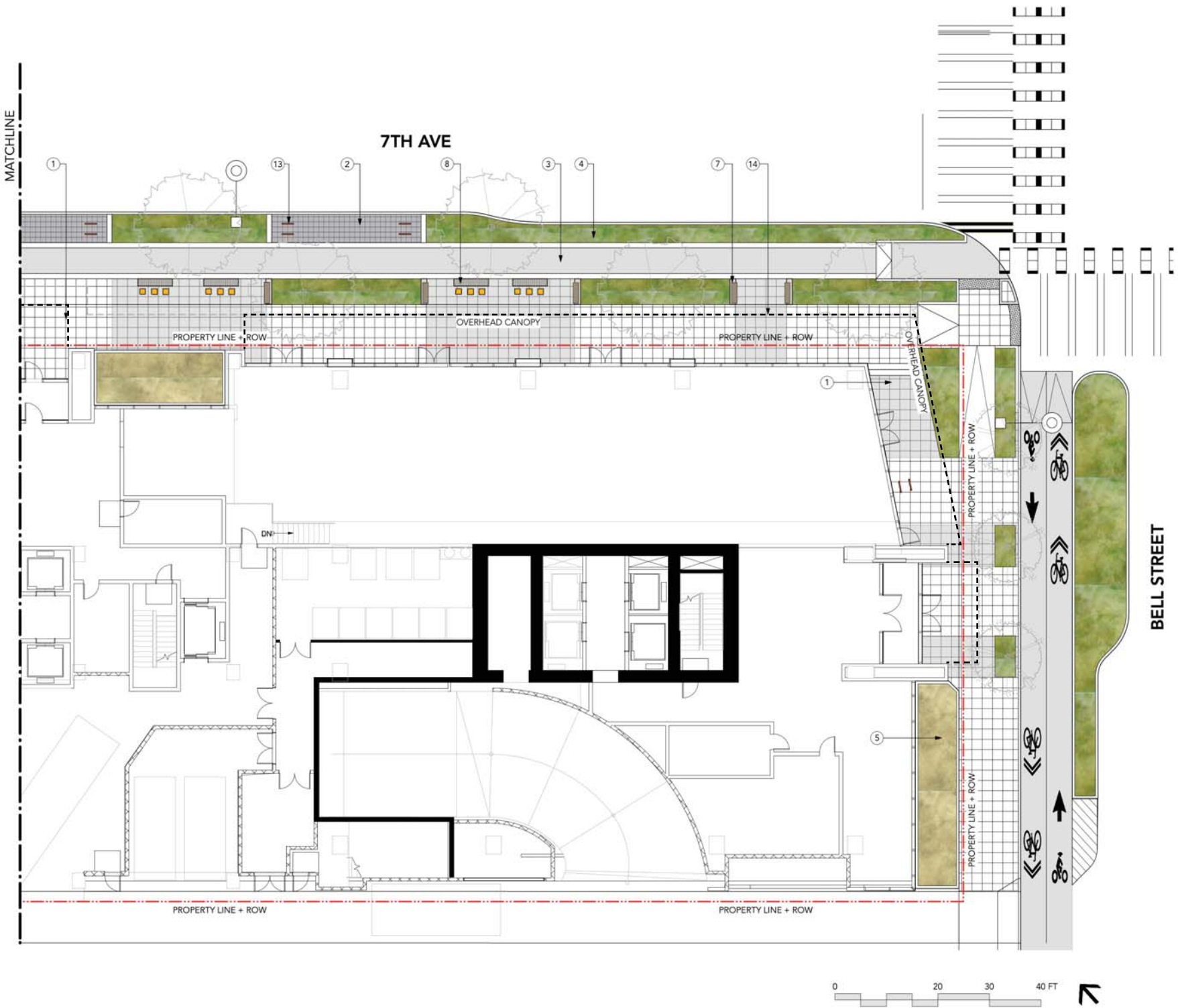


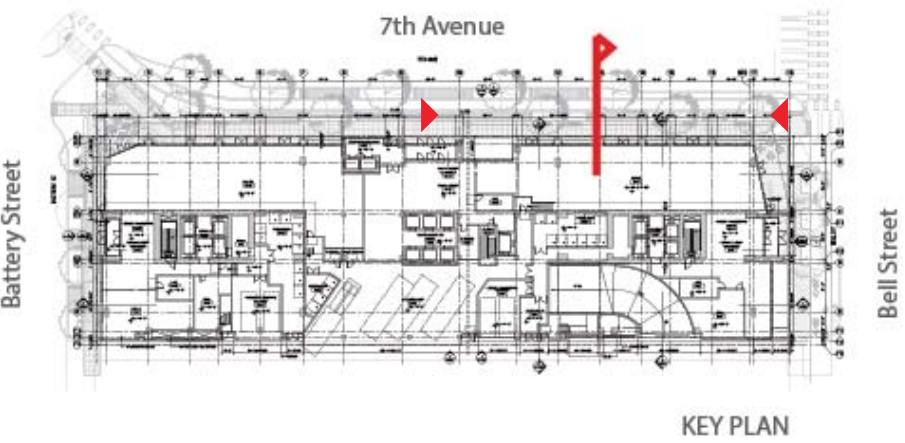
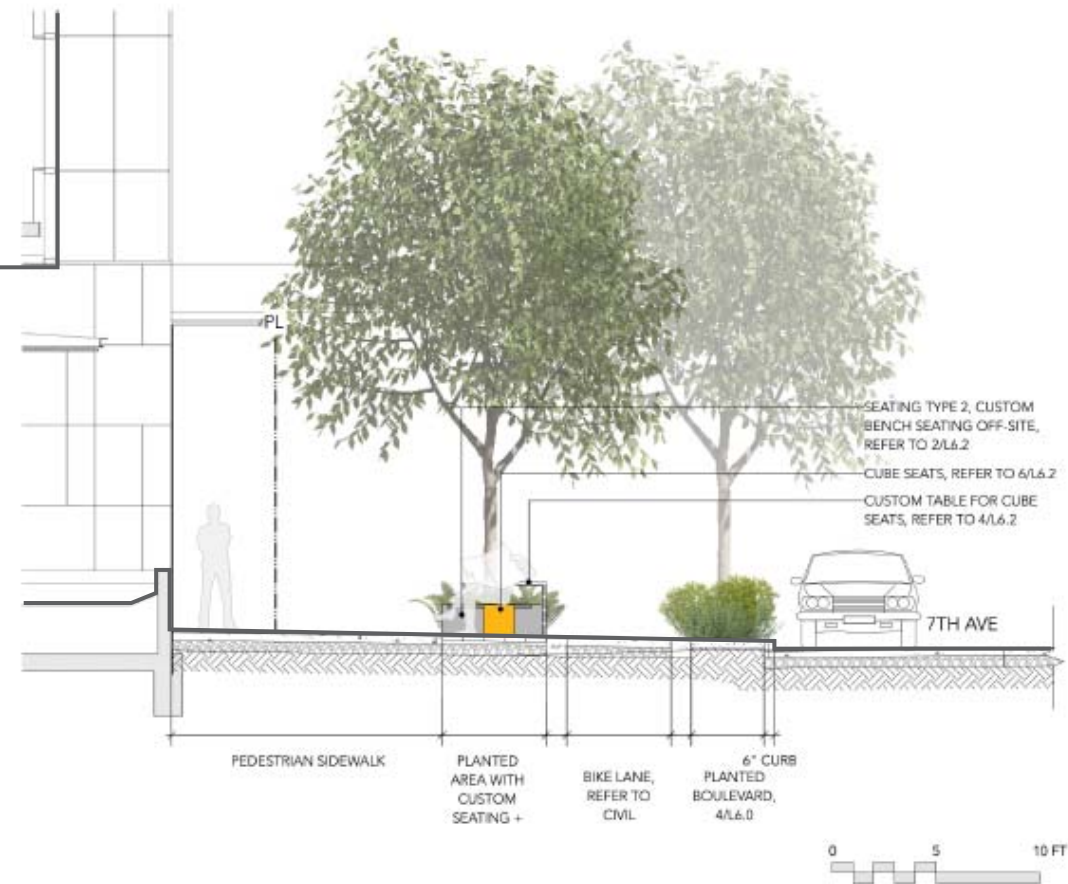
Battery Street Sidewalk and Plaza perspective

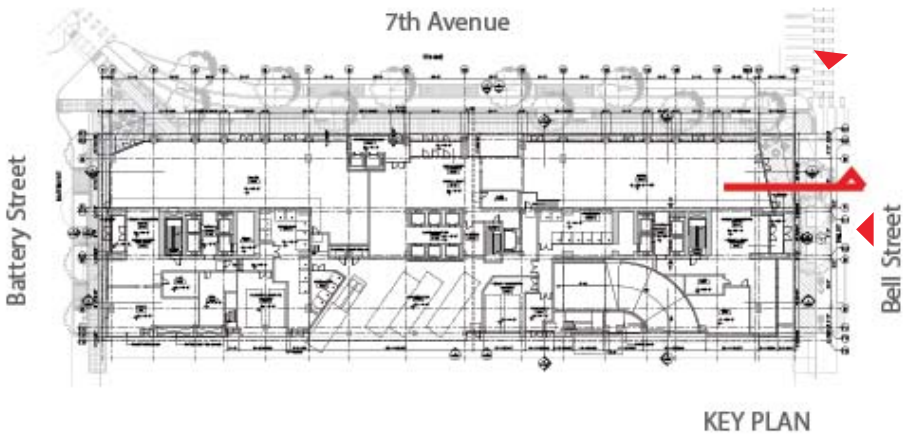
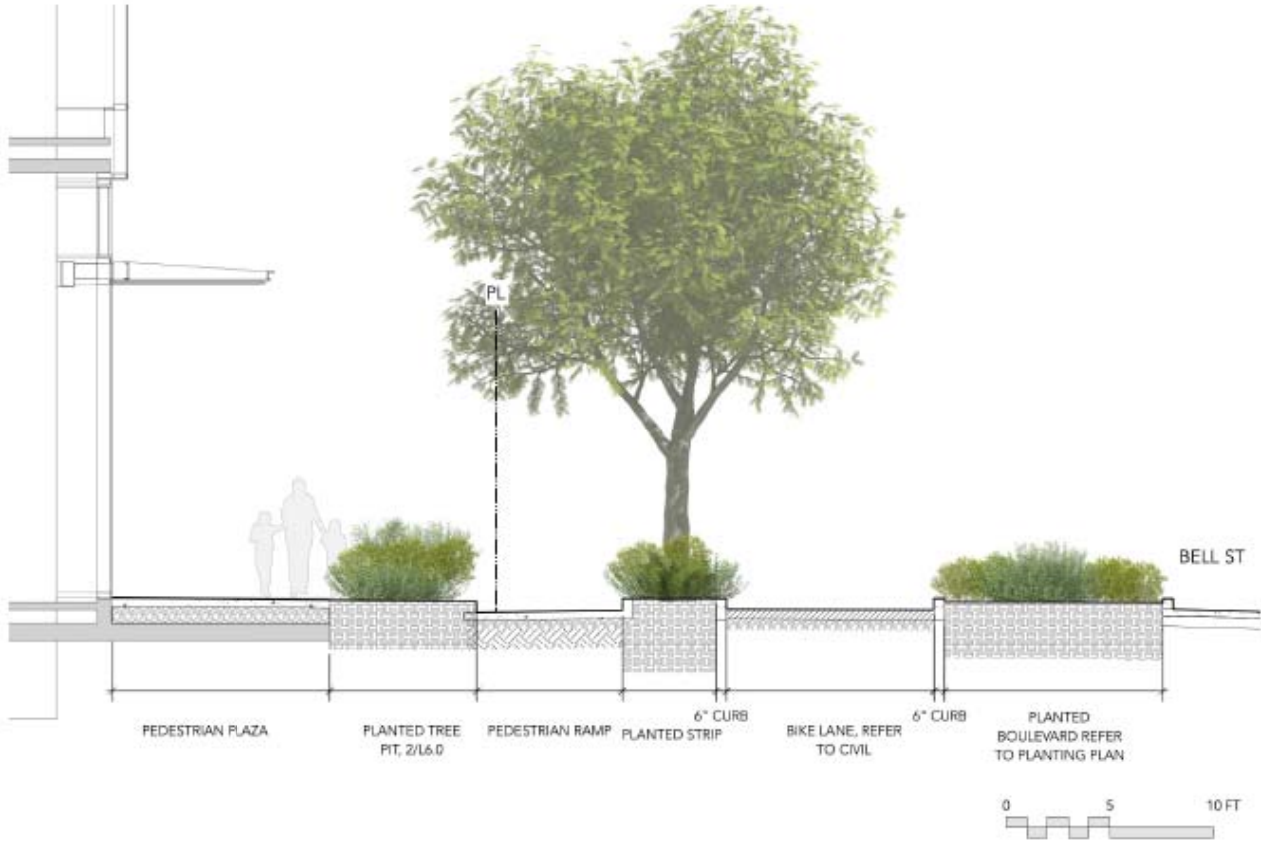




GROUND LEVEL LAYOUT + MATERIALS LEGEND		
SYMBOL	DETAIL KEY	DESCRIPTION
1	SDOT PLAN NO. 420	PAVING TYPE 1: ONSITE/OFFSITE PAVING 2' x 2' CIP Concrete per SDOT Standards. Color varies: Natural + Charcoal as shown
2	1 L6.0	PAVING TYPE 2: ACCENT PAVING CIP Concrete per SDOT Standards with Integral color 1" x 1" non-standard scoring / finish
3		PAVING TYPE 3 - BIKE PATH Asphalt with 6" thick, broom finish concrete retaining curbs, flush with asphalt, refer to civil drawings
4	SDOT PLAN NO. 100c + 110	IN-GROUND LANDSCAPE BED Min. soil depth 24" for shrubs, 36" for trees on scarified sub-grade
5	6 L6.0	IN-GROUND BIOFILTRATION SWALE Non-infiltrating bioretention facility with vertical sides. 18" min. bioretention soil
6	1 L6.1	SEATING TYPE 1: CONCRETE SEAT WALL 18" HT CIP concrete seat wall, architectural finish
7	2 L6.1 3 L6.1	SEATING TYPE 2: Concrete Seat wall, architectural finish with thermally modified wood top
8	4 L6.1 6 L6.1	SEATING TYPE 3: Streetscape cube lit seating and custom metal table
9		SEATING TYPE 3: Cafe Style Seating, By Owner
10		ART WALL
11	8 L6.1	DIGITAL MEDIA SIGN
12		PUBLIC ART - "PROPOSED PUBLIC ART"
13	1 L6.2	BIKE RACK MultipliCITY Bike Rack by Landscape Forms
14		ARCHITECTURAL CANOPY Above - Refer to architecture
15	SDOT PLAN NO. 100a + 2/ L6.3	PROPOSED TREES
	SDOT PLAN NO. 132a	EXISTING TREE TO REMAIN + PROTECT

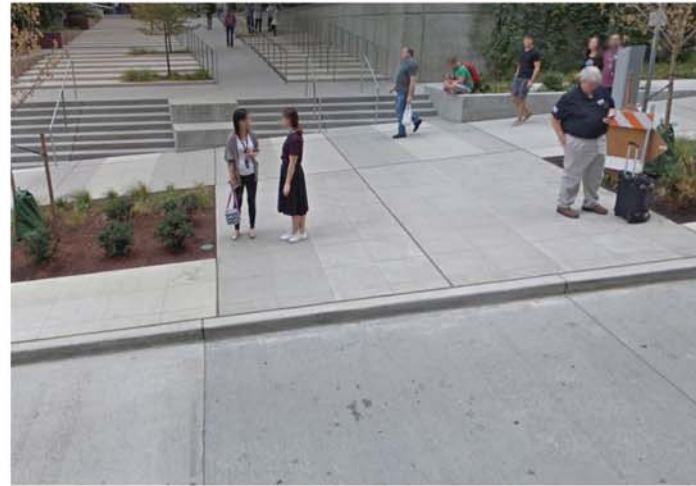








PAVING TYPE 1: SDOT CONCRETE PAVING



PAVING TYPE 2: SDOT CONCRETE PAVING - INTEGRAL COLOUR



DIGITAL MEDIA SIGN



SEATING TYPE 3: CAFE / RETAIL SEATING



CONTEMPORARY BIKE RACK



SEATTLE BIOINFILTRATION PLANTER



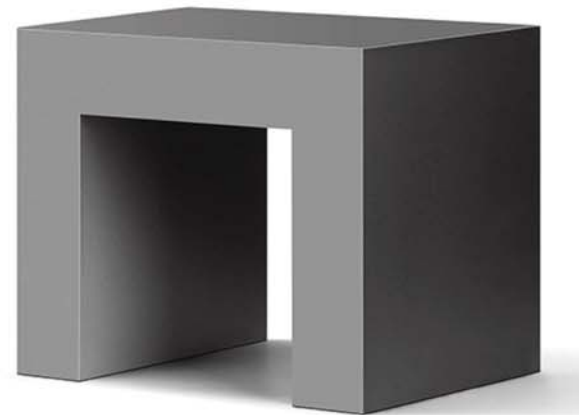
CUSTOM METAL TABLES



SEATING TYPE 2: THERMALLY MODIFIED WOOD TOPPED CIP CONCRETE BENCH



WAYFINDING SIGNAGE



BEGEA CUBE SEATS WITH LIGHTING



CAFE SEATING IN PLAZA



ART WALL



Emerald Sunshine Elm
Ulmus propinqua 'JFS-Bieberich'



Prairie Expedition Elm
Ulmus americana 'Lewis & Clark'



Patriot Elm
Ulmus 'Patriot'



Evergreen Huckleberry
Vaccinium ovatum



Himalayan Sweet Box
Sarcococca hookeriana var. humilis



Alpine Mint Bush
Prostanthera cuneata



Honeysuckle
Lonicera pileata



Compact Escallonia
Escallonia 'Compakta'



Dwarf Gold Twig Dogwood
Cornus sericea 'Flaviramea'



Red Twig Dogwood
Cornus alba 'Sibirica'



Deer Fern
Blechnum spicant



Karl Foerster Feather Reed Grass
Calamagrostis x acutiflora 'Karl Foerster'



Hidcote Lavender
Lavandula angustifolia 'Hidcote'



Western Sword Fern
Polystichum minitum



Swordleaf Rush
Juncus validus



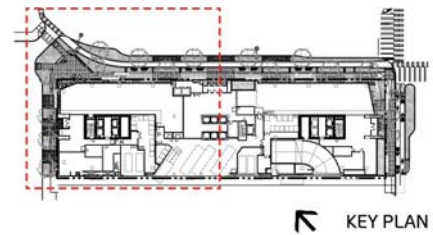
Soft-stemmed Bulrush
Scirpus validus



Dewey's Sedge
Carex deweyana



California Meadow Sedge
Carex pansa



KEY PLAN

LIGHTING LEGEND - GROUND LEVEL			
SYMBOL	TYPE	MANUFACTURER	DESCRIPTION
	BEGA STOOL	BEGA LIGHTING	8.4W LED LUMINAIR #77 731
	UNDER BENCH LIGHT	LUMINI	KWS- LENGTH- 30K- SO- C- FC- SA- POWER
	14.75' LED RAMA PEDESTRIAN POLE	LANDSCAPE FORMS	RM- 024L2- FR5- 05C- UV1- 5A- AL POLE: RM60219-01
	ELECTRICAL STUBOUT		STUBOUT FOR SIGNAGE / PUBLIC ART



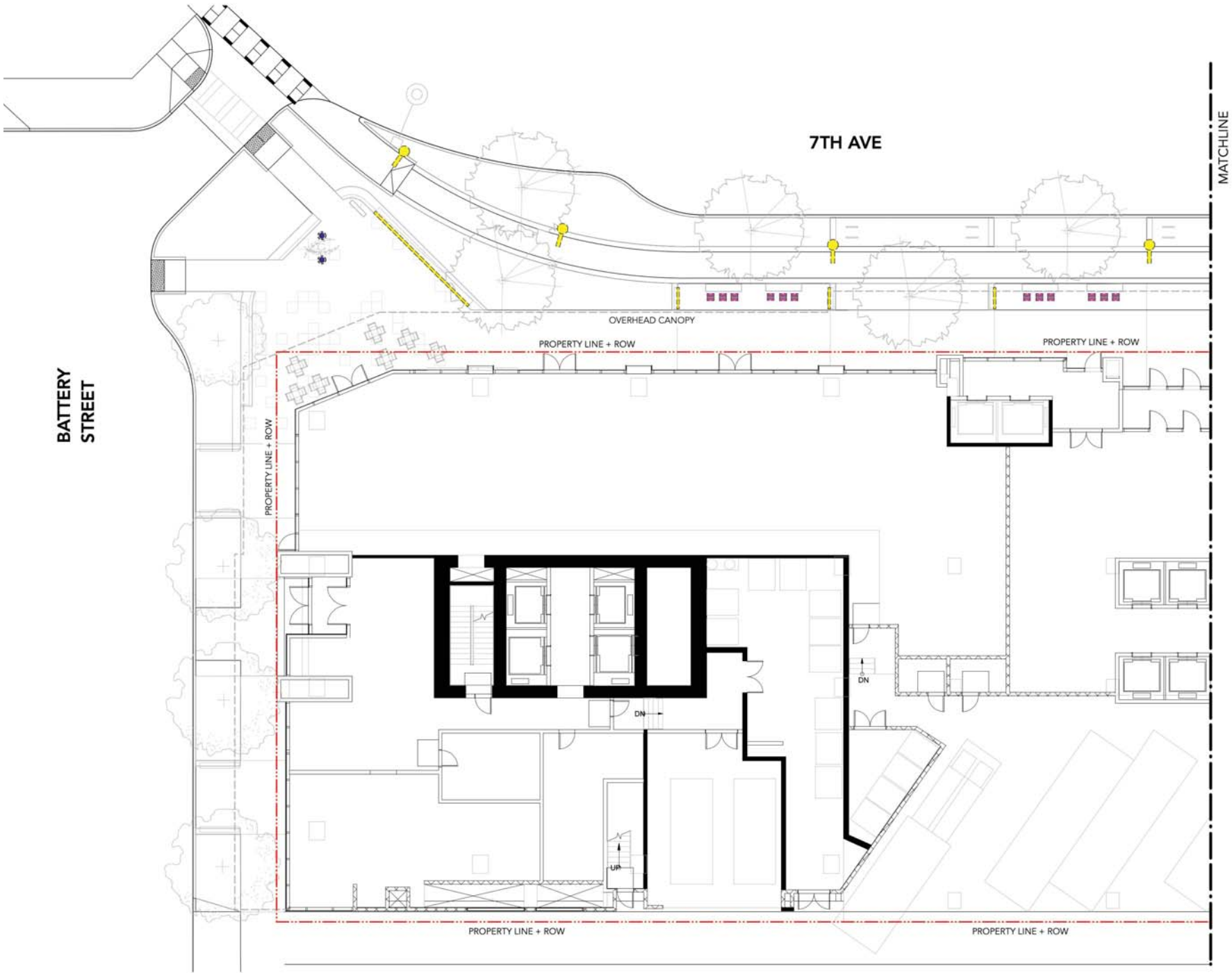
Type A - BEGA Seat Lighting

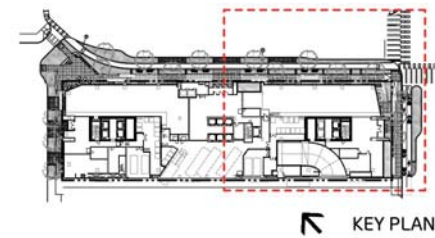


Type B - I-Light Bench Light

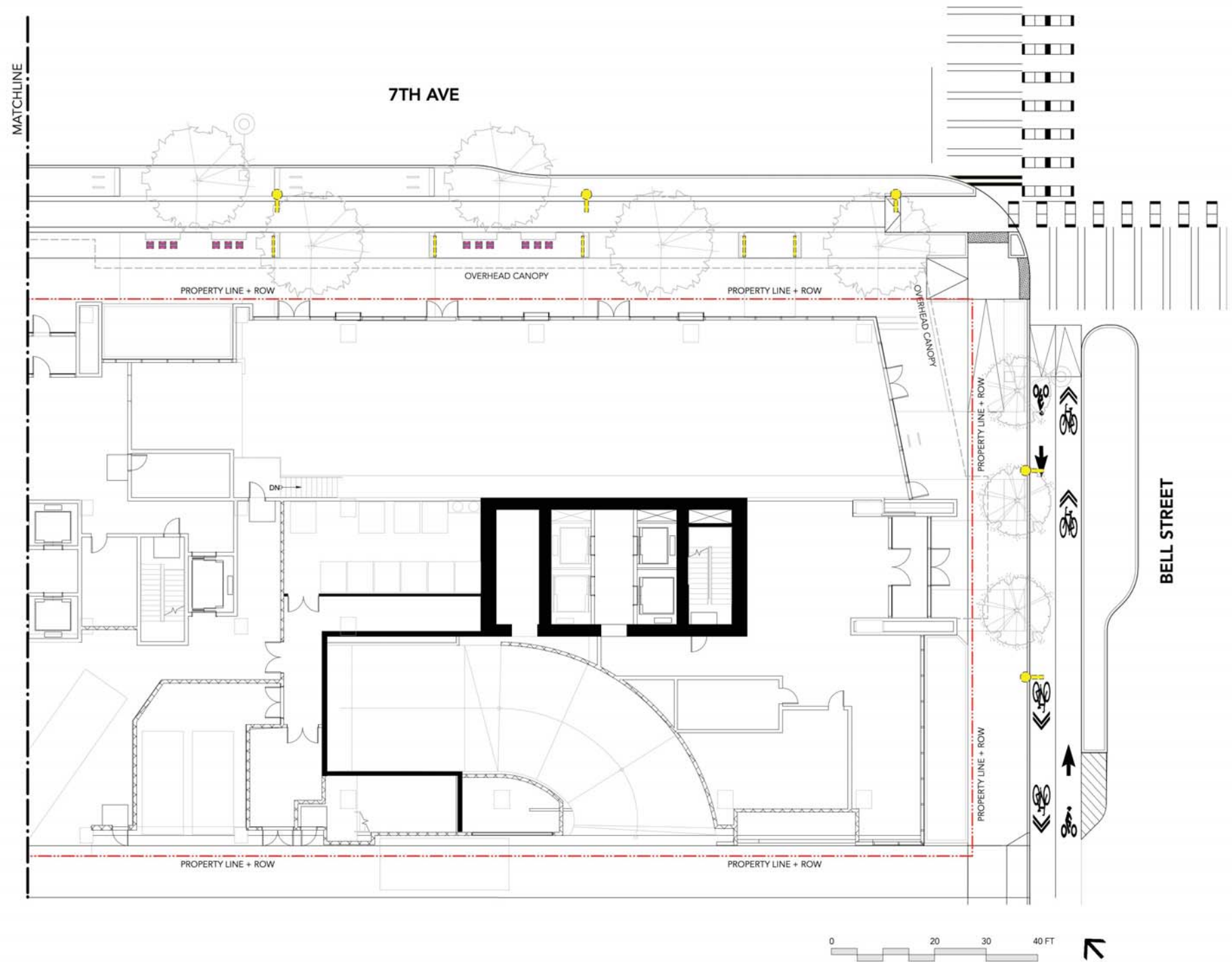
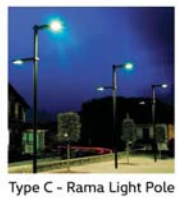


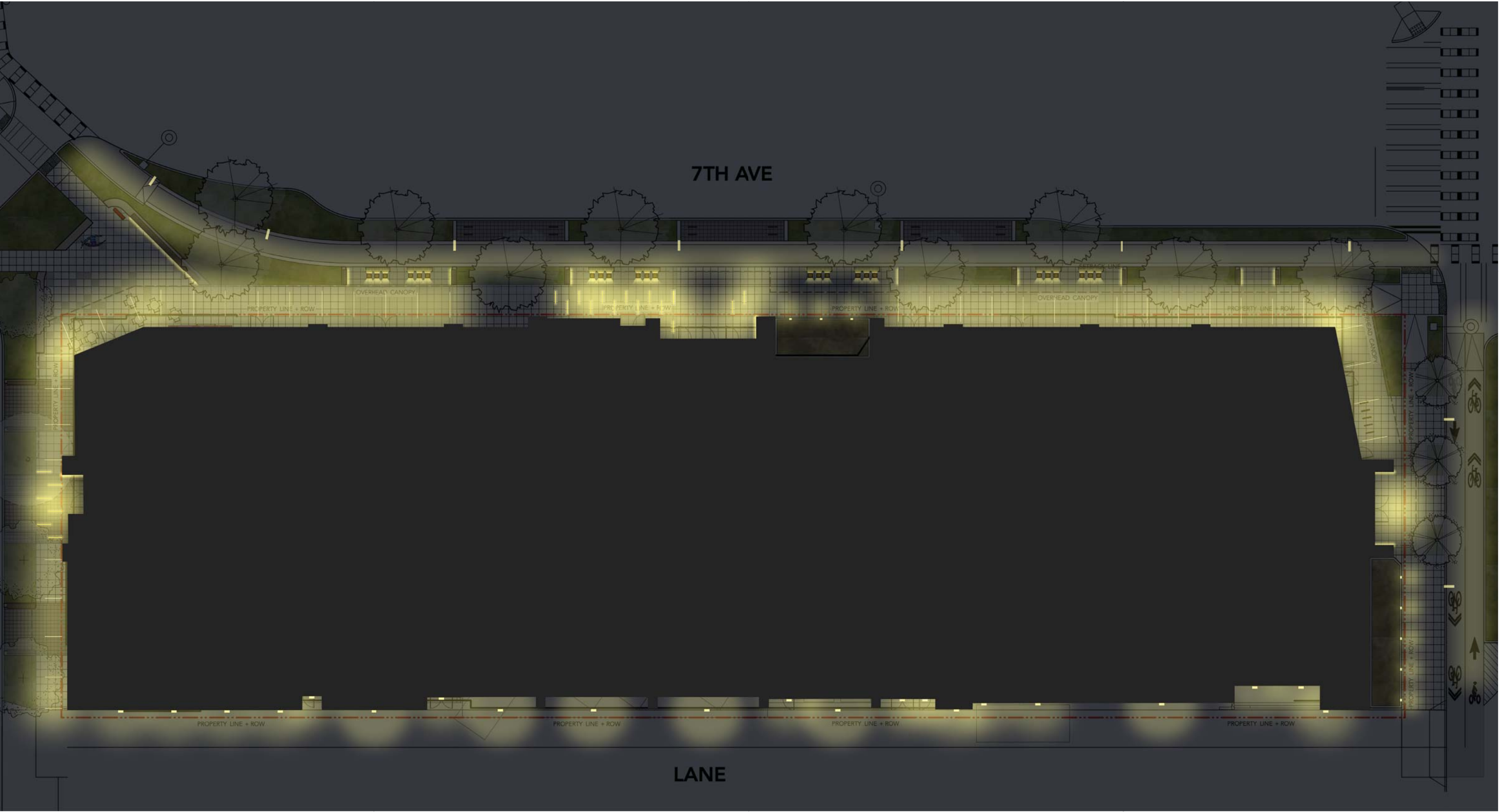
Type C - Rama Light Pole

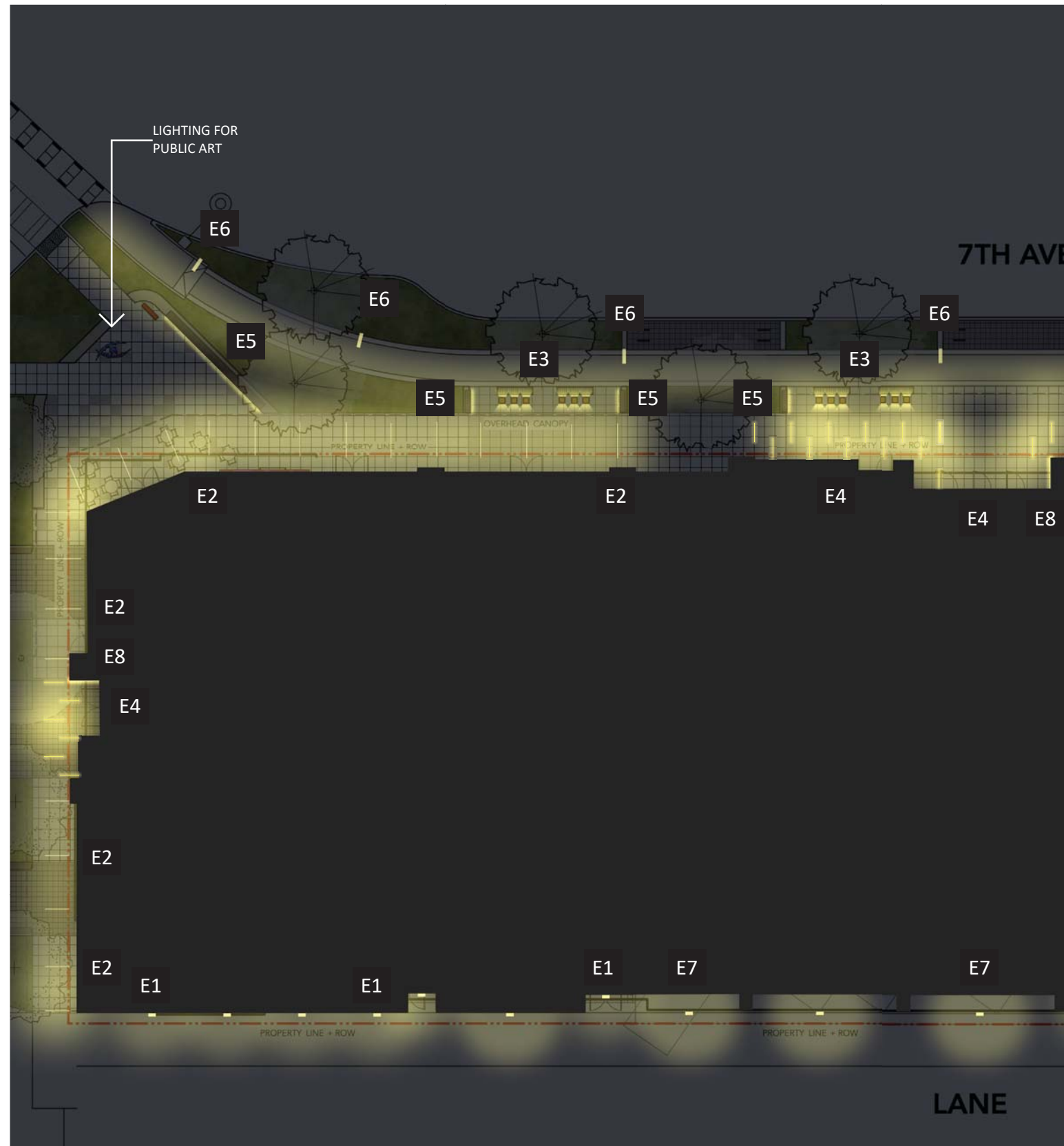




LIGHTING LEGEND - GROUND LEVEL			
SYMBOL	TYPE	MANUFACTURER	DESCRIPTION
	BEGA STOOL	BEGA LIGHTING	8.4W LED LUMINAIR #77 731
	UNDER BENCH LIGHT	LUMINI	KWS- LENGTH- 30K- SO- C- FC- SA- POWER
	14.75' LED RAMA PEDESTRIAN POLE	LANDSCAPE FORMS	RM- 024L2- FR5- 05C- UV1- 5A- AL POLE: RM60219-01
	ELECTRICAL STUBOUT		STUBOUT FOR SIGNAGE / PUBLIC ART







E1 WALLPACK
LED wallpacks mounted to the building illuminate the alley.



E5 UNDERLIT BENCH LIGHT
LED tape under bench reveals mark seating areas.



E2 CANOPY LIGHT
Thin linear canopy lights provide lighting for pedestrians passing by.



E6 PEDESTRIAN POLE
Pedestrian-scale poles carry the character of the Bell Street Park through the site and along the bike paths.



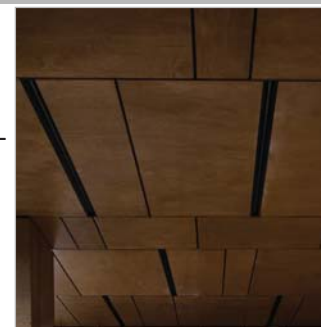
E3 UNDERLIT CUBE BENCH
Minimalist bench with integrated LED lighting underneath.



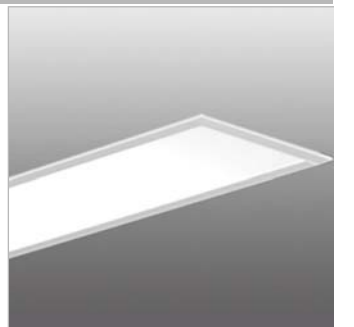
E7 WALL MOUNTED AREA LIGHT
Wall-mounted area lights provide plenty of light for parking and loading dock entrances.

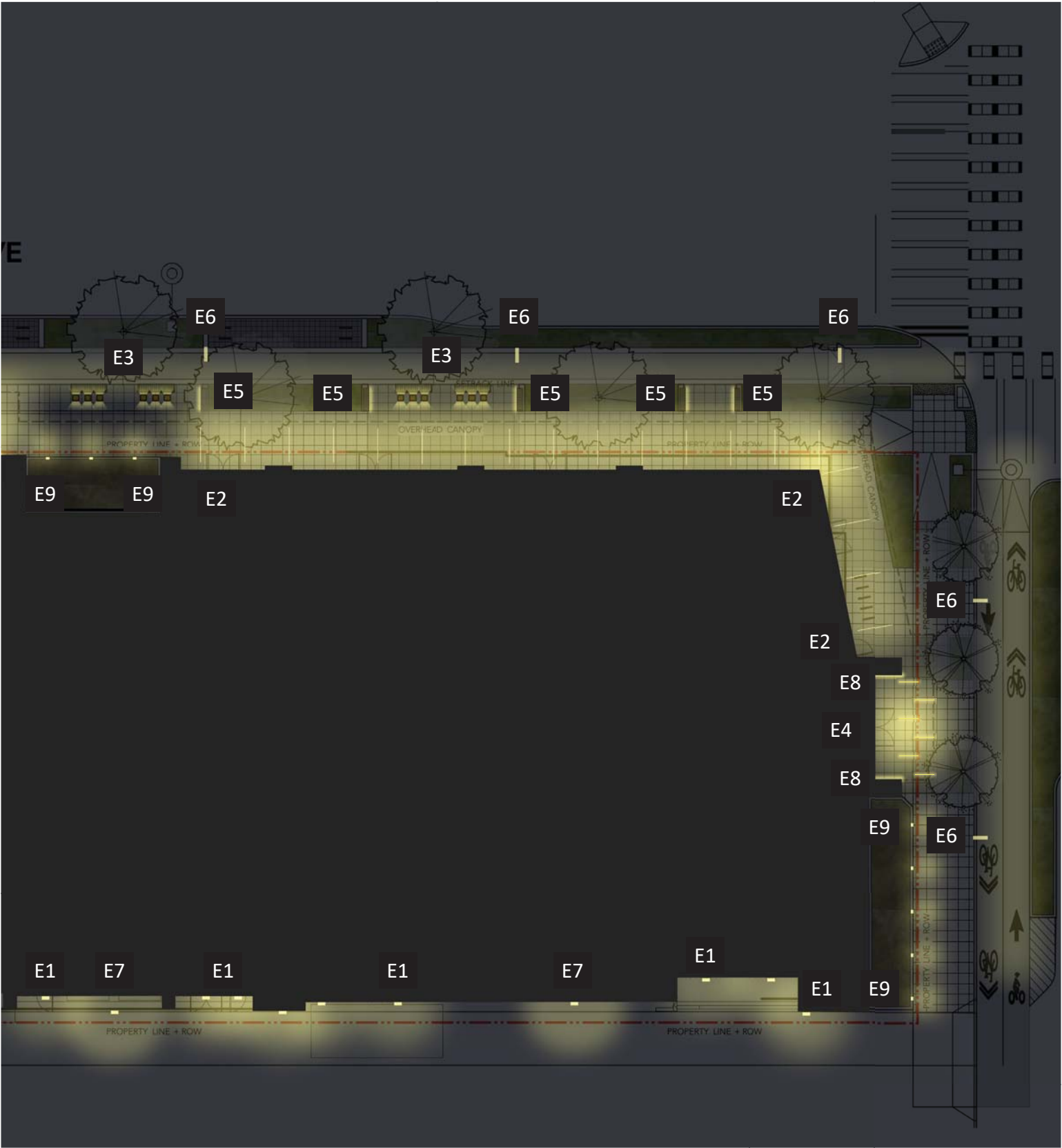


E4 LOW-GLARE LINEAR DOWNLIGHT
Linear downlight disappears in the soffit paneling above while keeping the entries well-lit.



E8 LINEAR WALL WASHER
Interior and exterior linear wall washers highlight the stone feature walls that flank each entrance.





E1

WALLPACK

LED wallpacks mounted to the building illuminate the alley.

E6

PEDESTRIAN POLE

Pedestrian-scale poles carry the character of the Bell Street Park through the site and along the bike paths.

E2

CANOPY LIGHT

Thin linear canopy lights provide lighting for pedestrians passing by.

E7

WALL MOUNTED AREA LIGHT

Wall-mounted area lights provide plenty of light for parking and loading dock entrances.

E3

UNDERLIT CUBE BENCH

Minimalist bench with integrated LED lighting underneath.

E8

LINEAR WALL WASHER

Interior and exterior linear wall washers highlight the stone feature walls that flank each entrance.

E4

LOW-GLARE LINEAR DOWNLIGHT

Linear downlight disappears in the soffit above while keeping the entries well-lit.

E9

RECESSED STEPLIGHT

Steplights recessed in planter walls provide rhythm and pathfinding light.

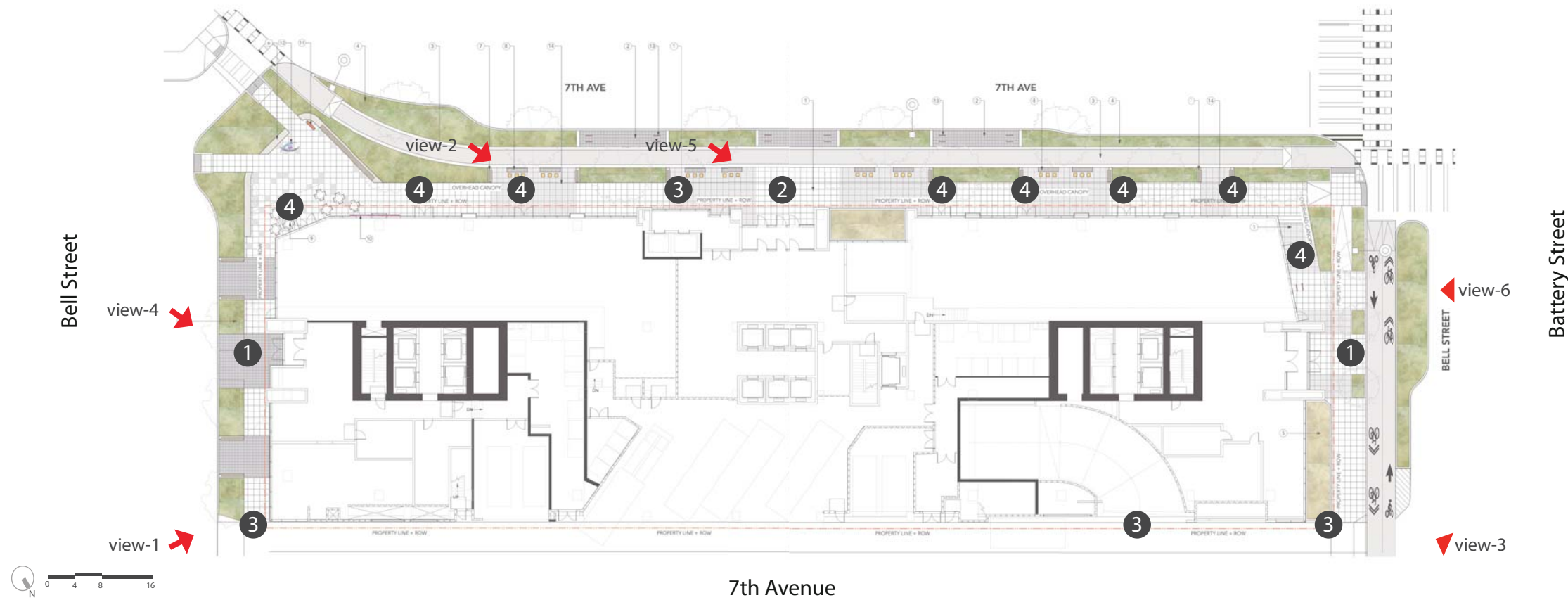
E5

UNDERLIT BENCH LIGHT

LED tape under bench reveals mark seating areas.

Signage locations will identify and separate the residential lobbies, the office lobby, and retail presence. Parking signage will be mounted to the facade visible for the traffic along Bell Street and Battery Street. Signage presence will occur on all three major sides of the project along Bell Street, Battery Street, and 7th Avenue.

Office signage will be identified by address mounted to three sides of the lobby canopy making it visible and identified along 7th Avenue by vehicle access or by walking along the pedestrian path. Residential signage will be project identity plus address mounted to the stone facade elements making them most identified at the pedestrian scale along Bell Street and Battery Street. Retail signage will vary between hanging blade signs and mounted signage where available and preferred.



- 1 Residential Address Signage
- 2 Office Address Signage
- 3 Parking Signage
- 4 Retail Signage

Departures

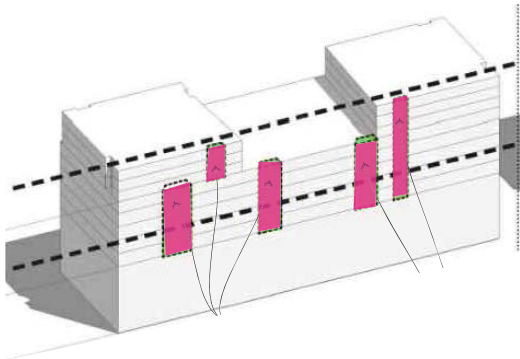
MUP Approved Design

DRB Approval
Approved MUP

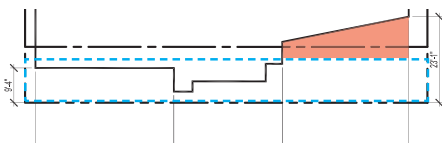
January 19, 2016
April 11, 2017

Requested Departures:

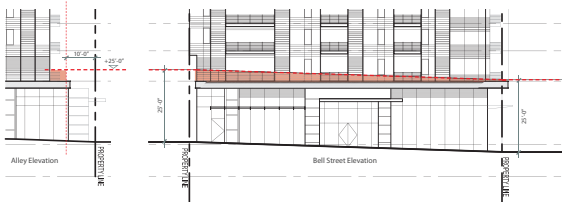
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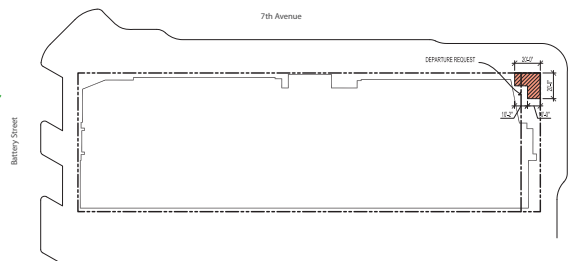
Departure Request 1:
23.49.058 Upper-Level Development Standards
B. Facade Modulation



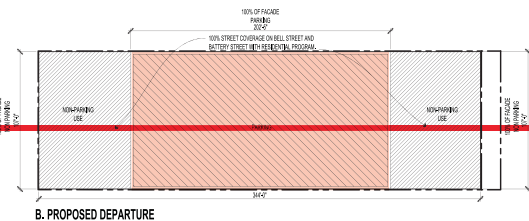
Departure Request 2:
23.49.056 Stree Facade, Landscaping, and
Street Setbacks
B. Facade Setback Limits



Departure Request 3:
23.49.056 Street Facade, Landscaping, and
Street Setbacks
A. Minimum Facade Heights



Departure Request 4:
23.49.056 Street Facade, Landscaping, and
Street Setbacks
A. Minimum Facade Heights

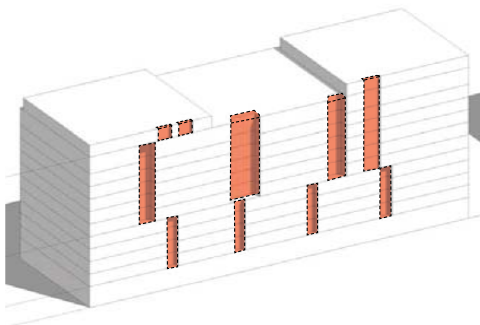


Departure Request 5:
23.49.019 Parking Screening
B3. Separation of Parking Located above
street-level story

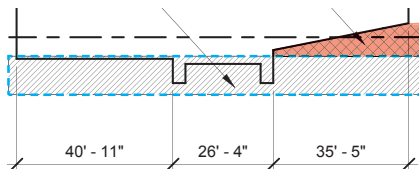
Proposed Design

Requested Departures:

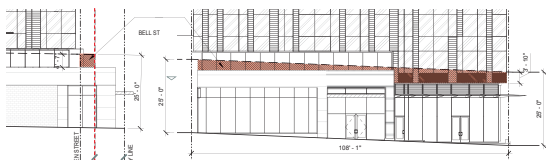
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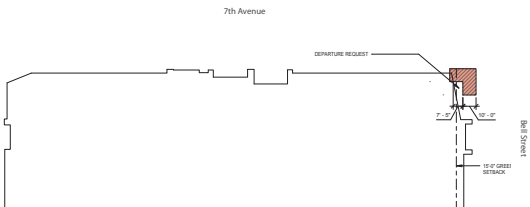
Departure Request 1:
23.49.058 Upper-Level Development Standards
B. Facade Modulation



Departure Request 2:
23.49.056 Stree Facade, Landscaping, and
Street Setbacks
B. Facade Setback Limits



Departure Request 3:
23.49.056 Street Facade, Landscaping, and
Street Setbacks
A. Minimum Facade Heights



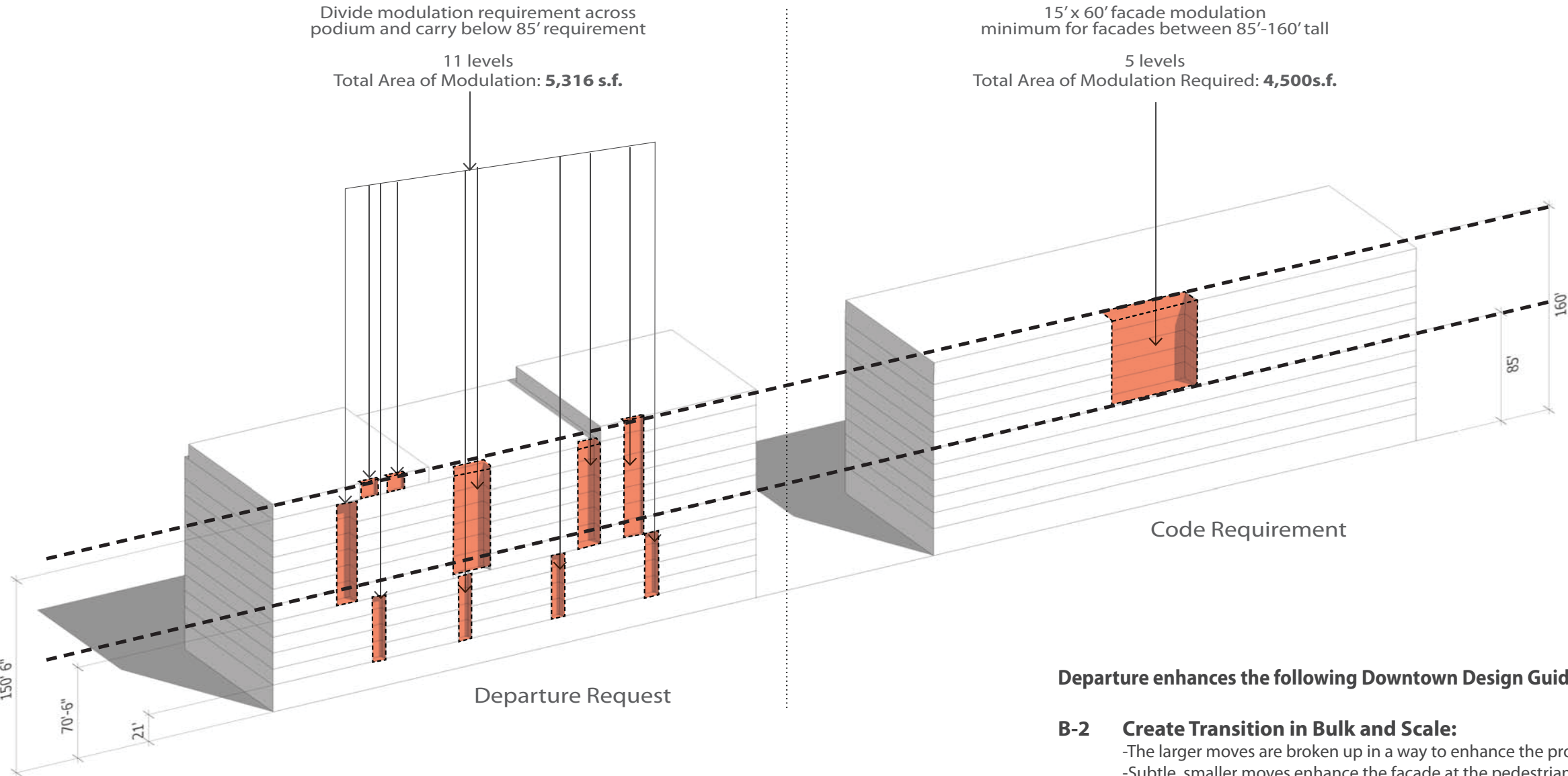
Departure Request 4:
23.49.056 Street Facade, Landscaping, and
Street Setbacks
A. Minimum Facade Heights

Departure Request 1: See Sheet G-005					
Standard	Request	Proposed	Rationale	Applicable Design Guidelines	Reference
23.49.058 Upper-Level Development Standards B. Facade Modulation 2. The maximum length of a facade without modulation within 15'-0" of a property line is prescribed in Table 23.49.058A Elevation Maximum Length: 86-160' 155' 161-240' 125' 241-500' 100'	Allow for facade massing that does not conform to the facade modulation standards of 23.49.058	The facade parallel to 7th Avenue has areas not complying with modulation standards greater than the dimensions in table 23.49.058A. The areas in excess of minium modulation are as follows: 2,676 SF at elevation 86-160 feet.	The overall massing of the tower is intended to be a unified form that is sculpted at the north and south ends to allow access to daylight and views. This form results in a tower with more elegant proportions and better responds to neighborhood context than a code-compliant tower with facade modulation at mid-block. This departure request is a result of the 108'-0" depth of the lot which is narrower than a comperable downtown block with a 120'-0" depth.	CS2-A.1 Respond to neighborhood context CS2-A.2 Architectural Presence CS2-D.4 Design a well-proportioned & unified building DC2-A.2 Reducing Percieved Mass DC2-B.1 Facade Composition	See Diagram 1

Departure Request 1:

23.49.058B Upper Level Development Standards

We request a design departure for the podium level modulation due to the rare depth of the site. In code compliance the area along 7th Avenue will not be desirable leasing depth for office space. We propose splitting this modulation throughout the facade (Exhibit A) to provide better leasing depths for the office space adjacent to the core.



- Respond to Neighborhood Context
- Architectural Presence
- Design a well proportioned & unified building
- Reduce Percieved Mass
- Facade Composition

Departure enhances the following Downtown Design Guidelines

- B-2 Create Transition in Bulk and Scale:**
 - The larger moves are broken up in a way to enhance the project's character & shape.
 - Subtle, smaller moves enhance the facade at the pedestrian level and enhance the motion concept.
- B-4 Define a Well-Proportioned and Unified Building:**
 - The project's overall design is organized around modulated surfaces running the entire facade.
- C-3 Provide Active - Not Blank - Facades:**
 - The modulated surfaces on 7th Avenue provides break up to the massing, lessening the podiums scale impact.

Departure enhances the following Downtown Design Guidelines

- B-1

Respond to the Neighborhood Context:
- B-3

Reinforce the Positive Urban Form & Archtiectrual attributes of the Immediate Area:
- C-1

Promote Pedestrian Interaction:
- C-4

Reinforce Building Entries:

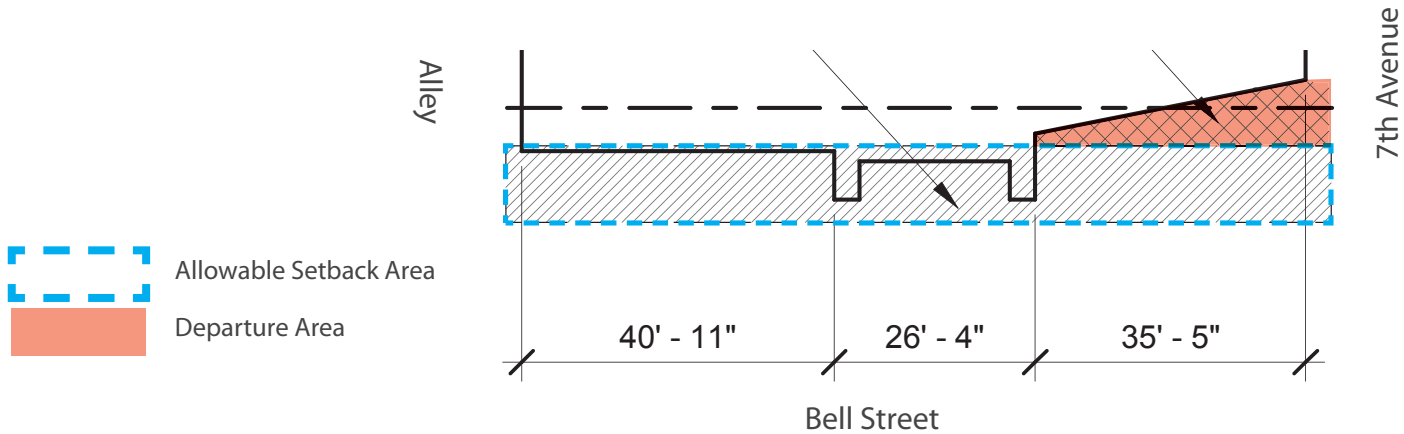
-The Bell Street facade reinforces the pedestrian scale entries to both the residential tower and retail corner.
- D-1

Provide Inviting & Ussable Open Space:
- D-3

Provide Elements that Define the Place:

-The single level stone element provides a back drop to the Bell Street residential entry as well as an amenity platform for building patrons to visually interact with the Bell Street sidewalk/park.
- D-6

Design for Personal Safety & Security



Departure Request 2:

- 23.49.056 Street Facade, Landscaping, and Street Setbacks.**
- Requirement:**
- A.

Minimum Facade Heights

a.1 Per Table A, minimum facade height is 25'-0"
- B.

Facade Setback Limits

2. General Setback Limits. The following setback limits apply on streets not requiring property line facades as shown in Map 1H:

b.

The maximum area of all setbacks between the street lot line & facade along each street frontage of a lot shall not exceed the area derived by multiplying the averaging factor by the width of the street frontage of the structure along that street (see Exhibit D for 23.49.056). The averaging factor is five on Class I pedestrian streets and ten on Class II pedestrian streets designated green streets.

Departure Amount Required
See adjacent illustrative diagrams

Departure enhances the following Downtown Design Guidelines

- B-2

Create Transition in Bulk and Scale:

-Subtle, smaller moves enhance the facade at the pedestrian level.
- C-1

Promote Pedestrian Interaction:
- C-2

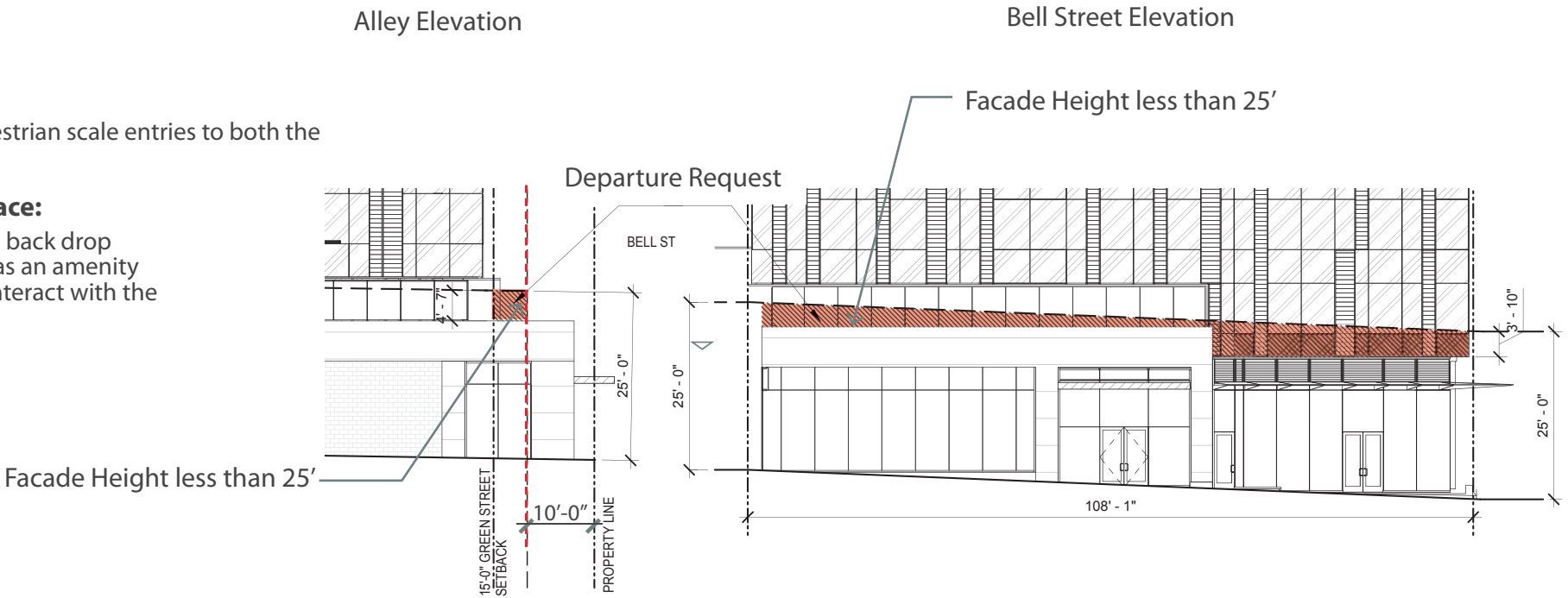
Design Facades of Many Scales:
- C-4

Reinforce Building Entries:

-The Bell Street facade reinforces the pedestrian scale entries to both the residential tower and retail corner.
- D-3

Provide Elements that Define the Place:

-The single level stone element provides a back drop to the Bell Street residential entry as well as an amenity platform for building patrons to visually interact with the Bell Street sidewalk/park.



Departure Request 3:

2.

The facade setback along Bell Street varies from 9'-4" to 23'-1" for a distance of 34'-0". Maximum setback
3.

Allow for section of facade along Bell Street that is below the 25' minimum facade height.

Rationale

2.

The building has been setback from the street to provide a more gracious zone between the public right-of-way and the building and continues the open character of Bell Street Park. The Setback also provides outdoor seating & corner entries into the retail, enhancing street level active use.
3.

The building facade complies on the corner of 7th Avenue as you turn on to Bell Street. In order to keep a consistant design and elevation datum, the elevation remains consistent and requires a facade height below 25' as the grade increases towards 6th Avenue. This gives a distinct design character to the upper 15' building setback to gesture the open Bell Street Park and emphasizes the retail & residential entry level from the upper podium design.

23.49.056 Street Facade, Landscaping, and Street Setbacks.

Requirement:

B. Facade Setback Limits

2. General Setback Limits. The following setback limits apply on streets not requiring property line facades as shown in Map 1H:

- d. The maximum setback of the facade from street lot lines at intersection is 10'. The minimum distance the facade must conform to this limit is 20' along each street.

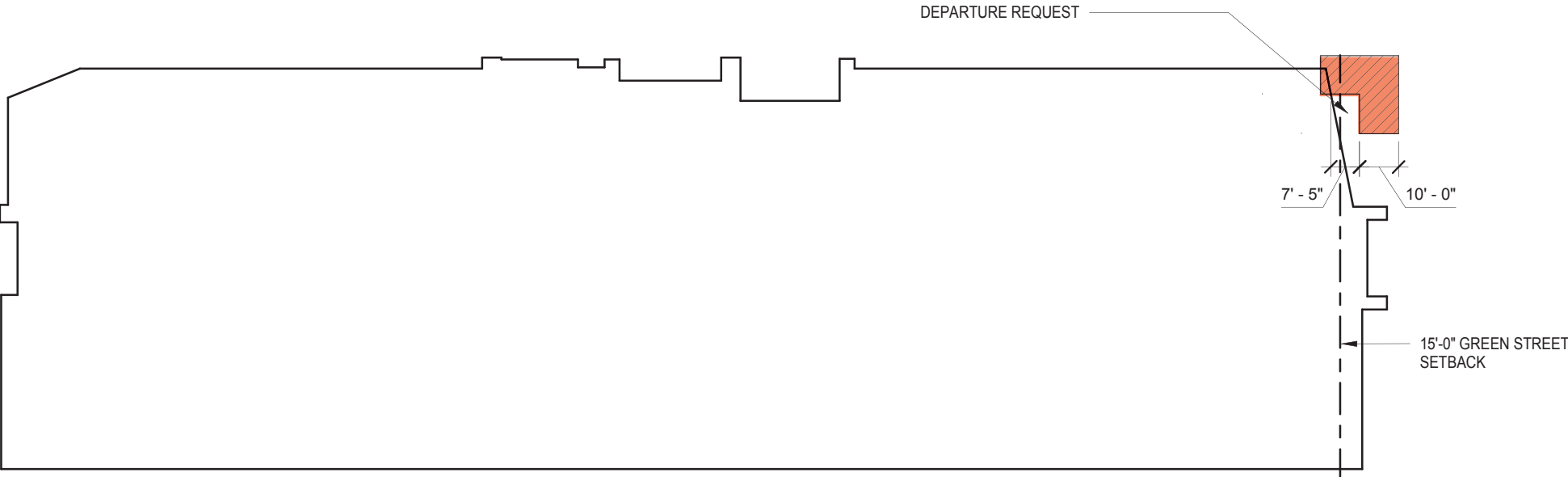
Departure Amount Required
See adjacent illustrative diagram

4. The facade parallel to Bell street sets back 20'-2" from the property line.

Rationale

4. The Green Street corner is enhanced and supported by a more gracious zone between the public right-of-way and the building. The setback also provides for corner entries into the retail, enhancing street level active uses.

Departure Request 4:



Departure enhances the following Downtown Design Guidelines

- B-1 Respond to the Neighborhood Context:
- B-3 Reinforce the Positive Urban Form & Archtiectrual attributes of the Immediate Area:
- C-1 Promote Pedestrian Interaction:
- D-1 Provide Inviting & Useable Open Space:
- D-3 Provide Elements that Define the Place:
 - The single level stone element provides a back drop to the Bell Street residential entry as well as an amenity platform for building patrons to visually interact with the Bell Street sidewalk/park.
- D-6 Design for Personal Safety & Security

EDG Guidance and Response

Summary of EDG Recommendations April 7, 2015

1. Tower and Massing (A2, A2.1, B2, B4.1, B4.3, C2.1)

- Provide a design that combines the towers of Option 1 and the asymmetry of Option 2 in the way the towers meet the podium
- Provide a design with one of the towers eroding the podium and reaching the base.
- Encouraged a design with panelized modules, as it would allow for an interesting design with different materials. Use reveals between modules to bring the tower down to the base
- Consider the capping of the towers as shown in Option 1

2. Podium Design (A2.1, B4.1, C3.1, D1.3, E2.1)

- Provide a design with one of the towers eroding the podium to break up its massing as shown in Option 2
- Provide a design with the stepping down of the open space on the podium top as shown in Option 3
- Study the facade treatment of the retail space and above parking levels. Consider using the retail facade treatment at the parking levels.

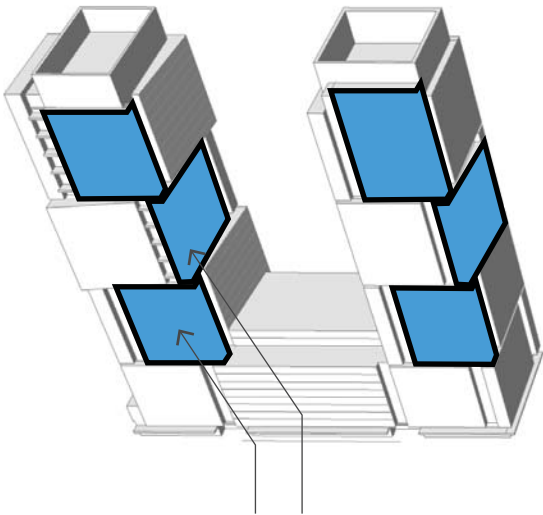
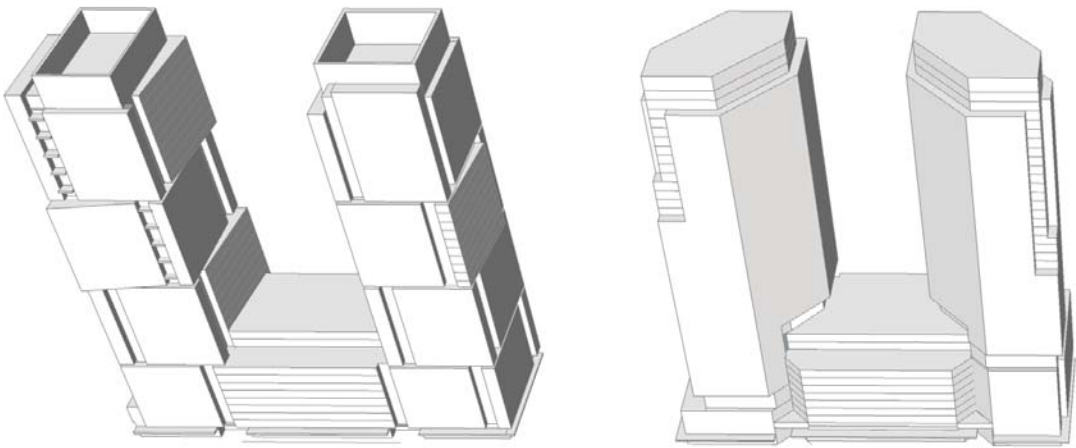
3. Streetscape (B3.3, C1, C1.3, D1.2, D3.1, D6.1)

- Along Bell Street, push back or cant the podium facade at grade and above to be similar in spirit to what was proposed in Option 3
- Activate the retail space along Battery Street with the design of the street

✱ The following sheets illustrate how this packages **Proposed Design** continues to respond to the original EDG guidance given on **April 07, 2015**

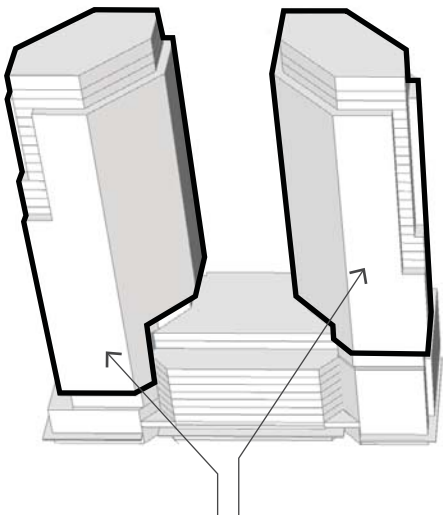
Combine option 1 and 2 to bring an asymmetrical design with the towers of Option 1.

Previous option 1 featured a pinwheel spin effect of cubist shapes. Option 2 featured an asymmetrical placement, having the towers sit differently on the podium plate. The new proposed option combines the asymmetrical tower placement and the pinwheel rotating cube effect of the previous options to bring a new design that is focused on the idea of a twist motion.



Pinwheel Cubes

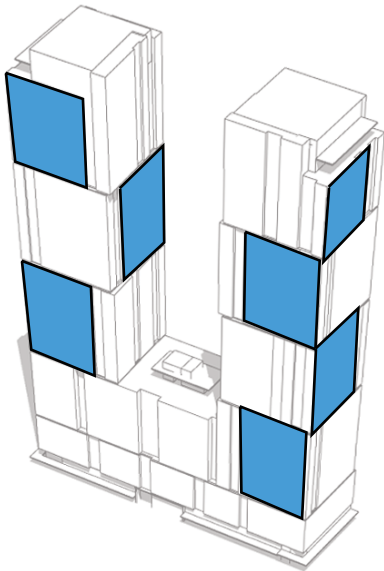
EDG Approved Tower Massing
(April 07, 2015)



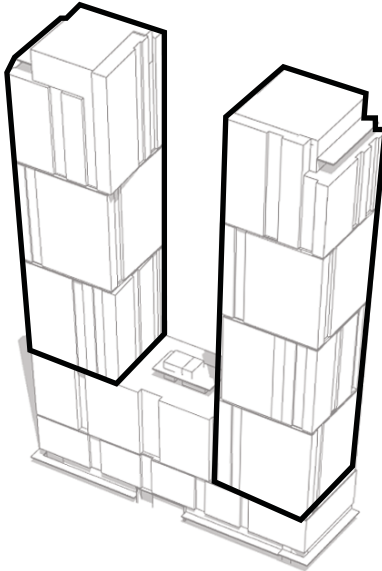
Asymmetrical Sitting

EDG Approved Tower Massing
(April 07, 2015)

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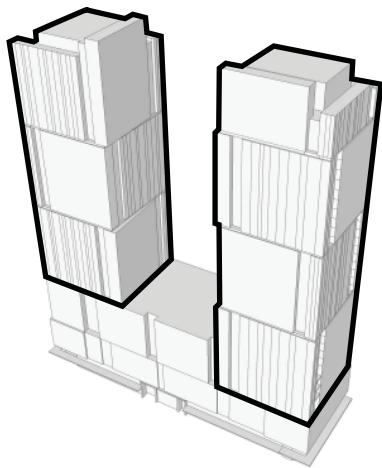


Pinwheel Cubes



Asymmetrical Sitting

Proposed Design



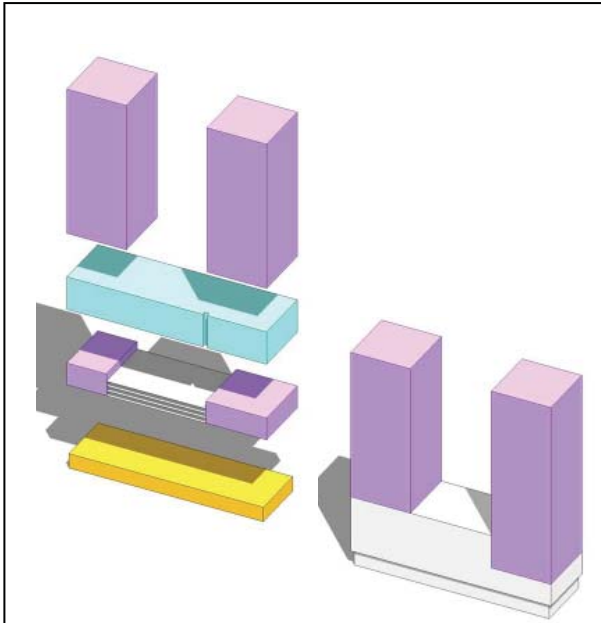
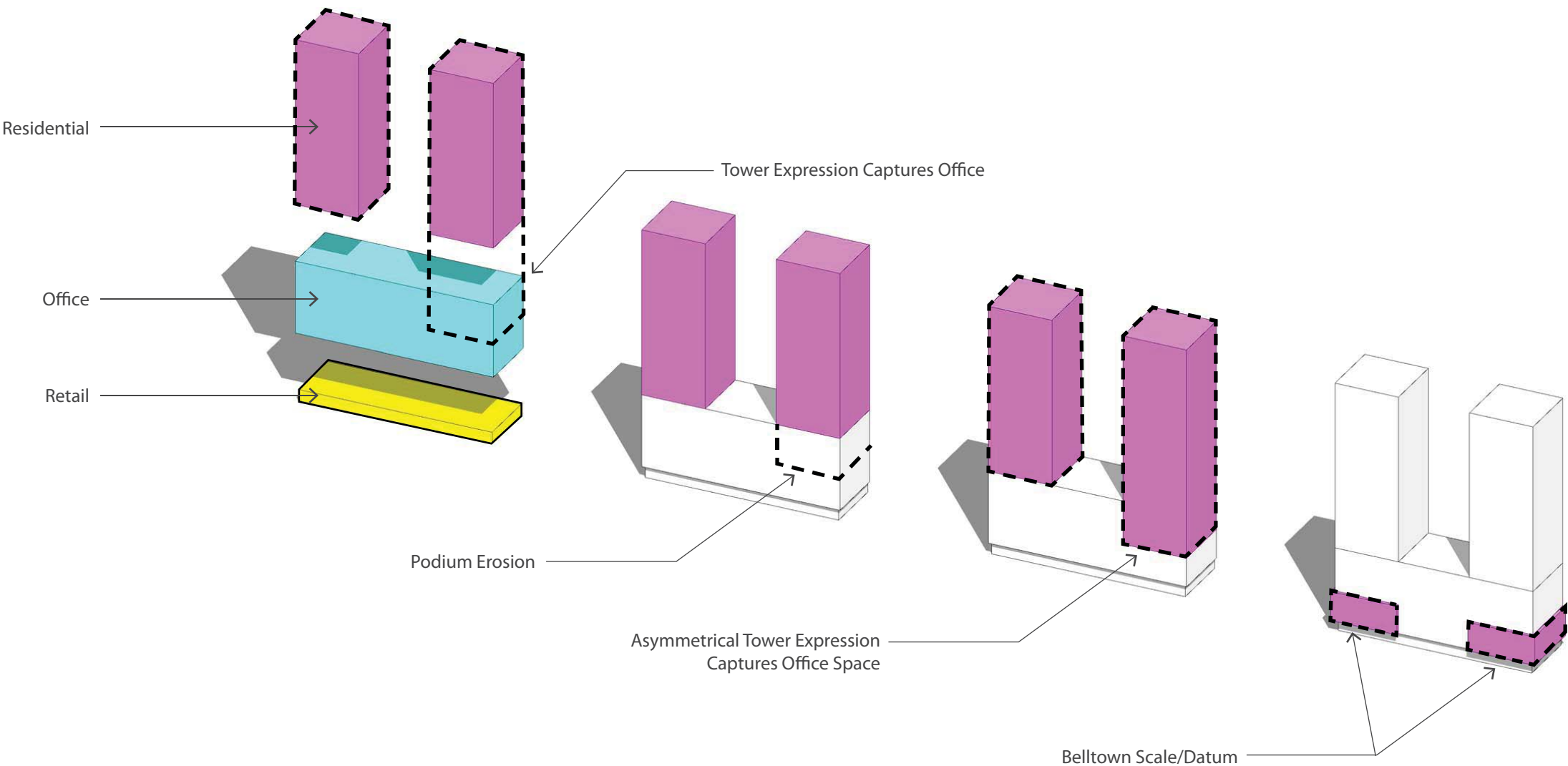
Asymmetrical Sitting

DRB Approved Tower Massing
(January 19, 2016)

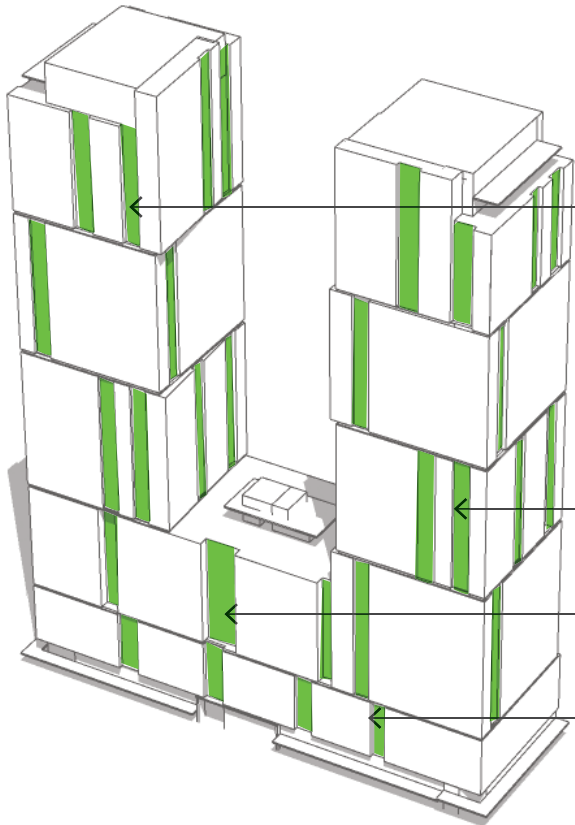
Provide design with one tower eroding podium and reaching the base.

The proposed design has evolved into essentially two podiums. The lower podium marked by a 65' datum reflects the Belltown residential and retail scale located to the west, with the second podium scale reflecting the newer and larger development scale for the Denny Triangle area. The towers then "erode" or sit at different podium heights. Rather than take the entire residential high rise facade to the ground level, the expression of inclusive neighborhood look and feel provides a unique behavior that acknowledges the surrounding presence without being intrusive. The recognition of the pedestrian presence allowed the design to evolve into a series of parts and pieces, none of which touch the ground, but rather, float above the retail plane of the street.

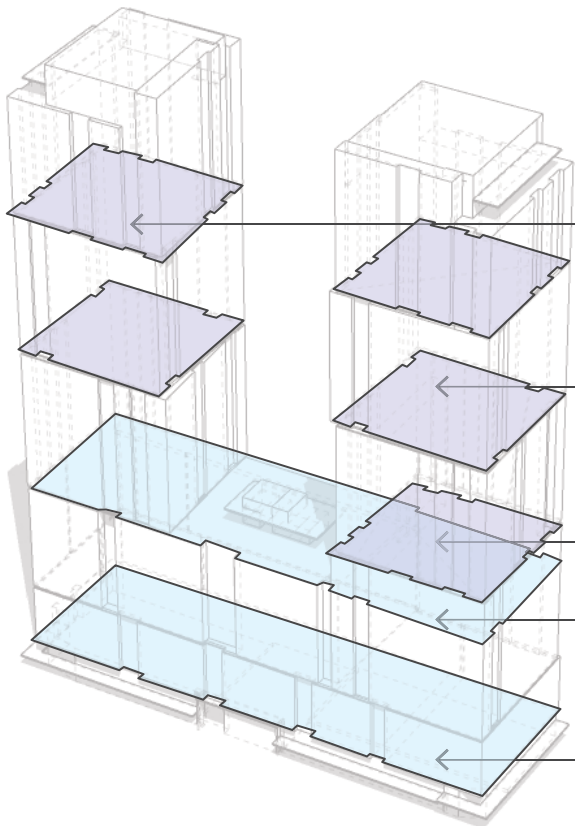
It is necessary for the design to lift these expressions and carefully choose which portions of the project can blend other visual identifiers. The office can have a mixture of sculpted clean glass with the book-end treatment similar to the residential tower. However, blending the visual uses further breaks away from the typical residential treatment and scale of Belltown / Denny Triangle. The inclusion of this facade treatment will help give the pedestrian a familiar scale treatment for such a vertical project.



DRB Approved Tower/Podium Erosion
(January 19, 2016)

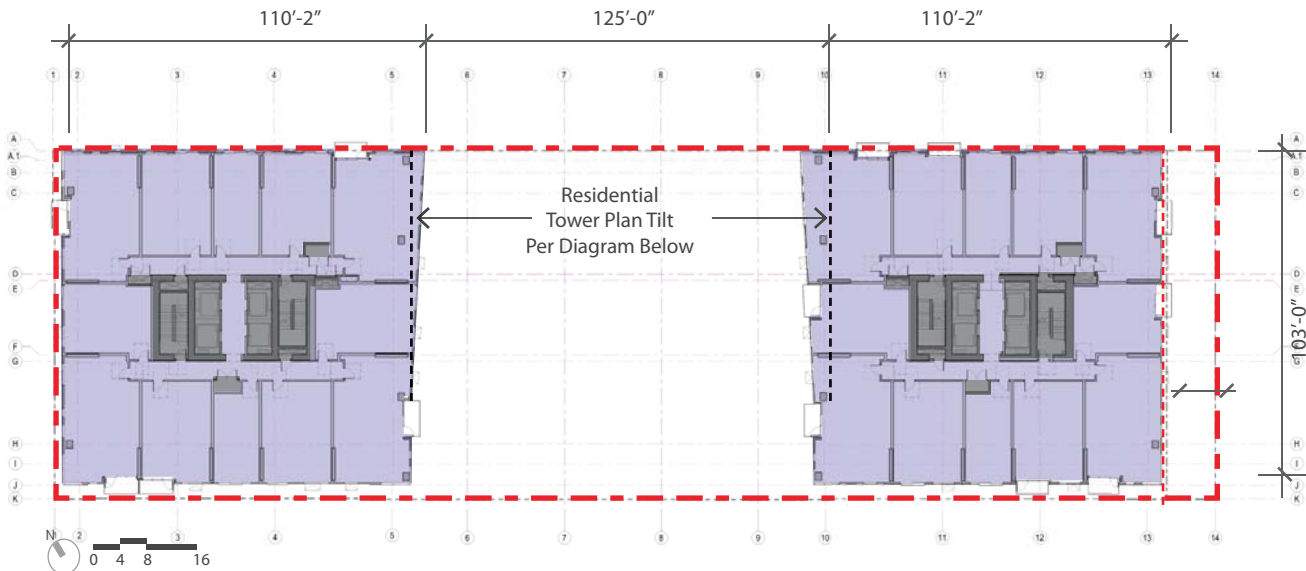


Tower Modulation
Tower Modulation
Podium Modulation
Podium Modulation

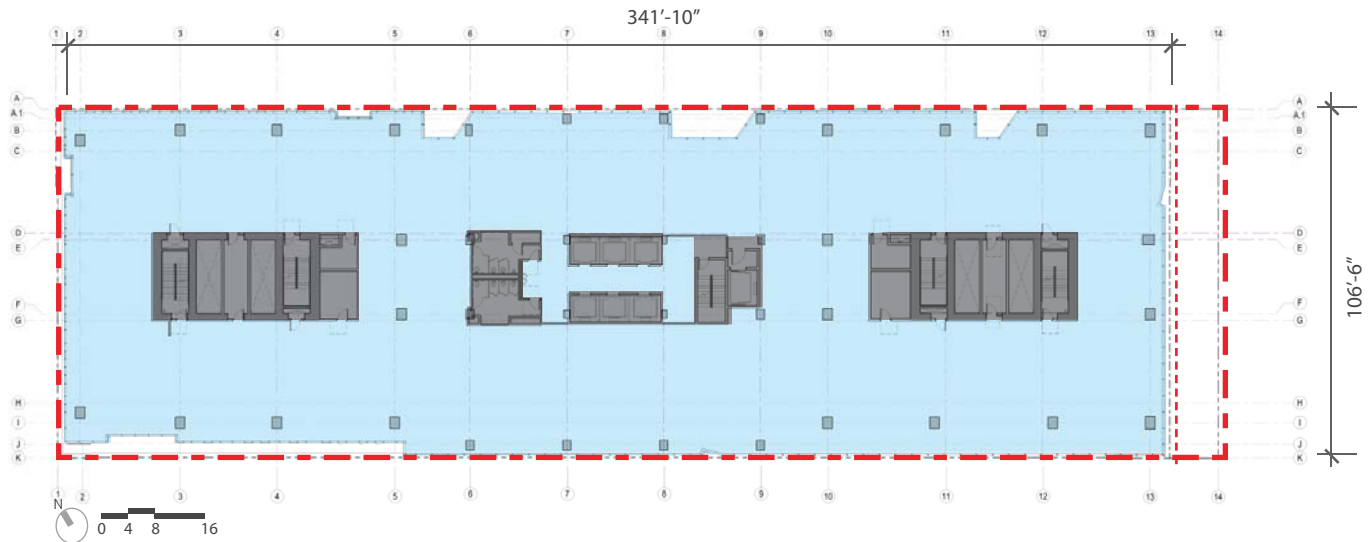


Residential Floor
Residential Floor
Residential Floor
Office Floor
Office Floor

Typical Residential Floor:



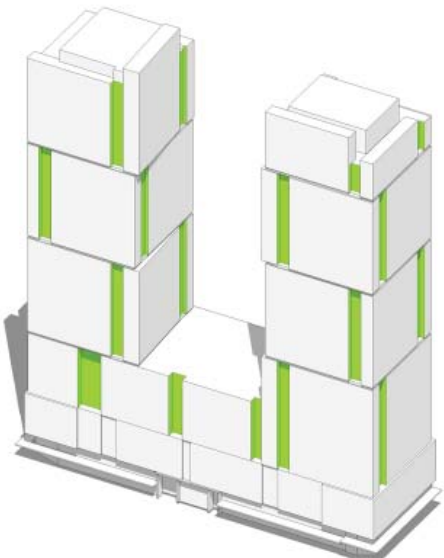
Typical Office Floor:



- Retail
- Lobby
- Office
- Residential
- Hotel
- Parking
- MEP/BOH

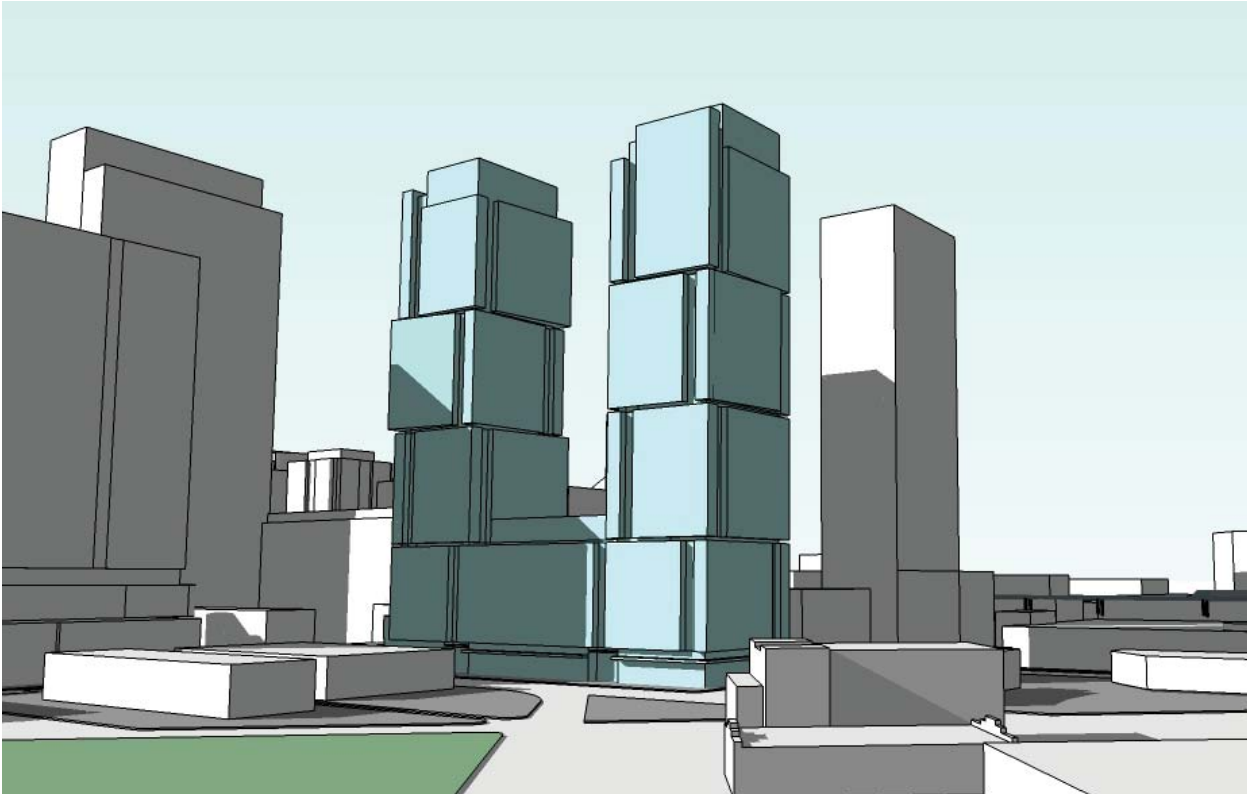
Encouraged a design with panelized modules, as it would allow for a very interesting design with differing materials. Use the reveals between the modules to bring the tower down to the base.

The tower concept utilizes modulation to break up each tower face, creating the pinwheel effect. Further, the podium uses the requested departure to separate the tower language being taken to the residential base level. Should the departure be satisfactory, the concept of cube break up along the office podium will pair itself with the modulation of the pinwheeling towers to bring a cohesive design principle throughout the project.



DRB Approved Tower/Podium Modulation
(January 19, 2016)

EDG Option 1:



Response:



Consider capping towers as shown in Option 1.

The playful nature of the tower caps in the previous EDG option 1 have been expressed in the proposed design. Two of the four parapet sections continue up past the L42 amenity levels and become mechanical penthouse screens. The other two sections stop at L42 providing outdoor amenity space and bioretention planters. With the additional height provided by the HALA/MHA incentive program, we were able to re-proportioned the cube sizes making them appear more equal in size and character than the DRB#1 design. These playful caps ultimately integrate multiple program needs including indoor and outdoor amenity, elevator overruns and mechanical equipment.

In response to the DRB comments regarding the Tower Caps, the design team worked with the planner to resolve the imbalance between the last two cubes of both towers by adding parapet height. With the **Proposed Design**, we do not need to raise the parapet heights. We are able to resolve that imbalance much easier with the utilization of the extra MHA height. With the extra 40', the residential tower cubes and corresponding tops holistically resolve the DRB's original concerns better than the previous design.



DRB Approved Tower Capping
w/ conditions (January 19, 2016)

Tower & Massing Summary

A-2	Enhance the Skyline:	
	-Tower plays on the idea of pinwheel motion creating a unique design concept.....	✓
	-Facade utilizes subtle angle language to play with natural lighting effect.....	✓
A-2.1	Desired Architectural Treatments:	
	-Podium and towers are sculpted forms utilizing facade modulation.....	✓
	-Materials play on overall pinwheel concept and utilize natural lighting effects to give a pinwheel motion.....	✓
	-Lantern tower cap enhances the cubist pinwheel effect and appropriately shield mechanical elements.....	✓
B-2	Create Transition in Bulk and Scale:	
	-The larger moves are broken up in a way to enhance the project's character & shape.....	✓
	-Subtle, smaller moves enhance the facade at the pedestrian level and enhance the motion concept.....	✓
B-4.1	Massing:	
	-Project massing and design has emphasized the required city compliance measures.....	✓
B-4.3	Architecture Details:	
	-Tower facade materials and design concept play on natural lighting effect.....	✓
	-Exterior finish materials emphasize the pinwheel cube concept and also bring a variety of material finishes to the design.....	✓
C-2.1	Modulation of Facades:	
	-Podium and towers each use facade modulation to emphasize each respective massing concept.....	✓

1. Tower and Massing (A2, A2.1, B2, B4.1, B4.3, C2.1)

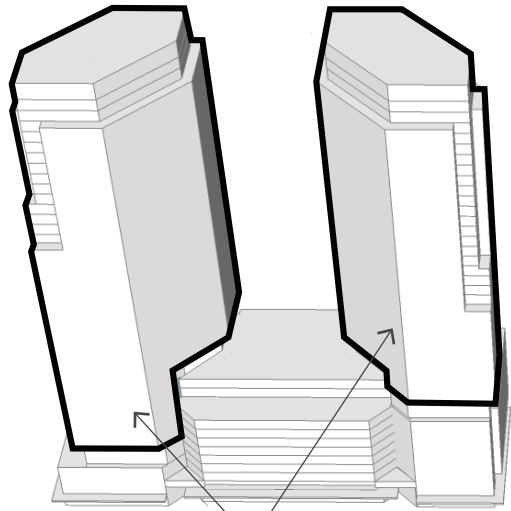
- Provide a design that combines the towers of Option 1 and the asymmetry of Option 2 in the way the towers meet the podium
- Provide a design with one of the towers eroding the podium and reaching the base.
- Encouraged a design with panelized modules, as it would allow for an interesting design with different materials. Use reveals between modules to bring the tower down to the base
- Consider the capping of the towers as shown in Option 1

2. Podium Design (A2.1, B4.1, C3.1, D1.3, E2.1)

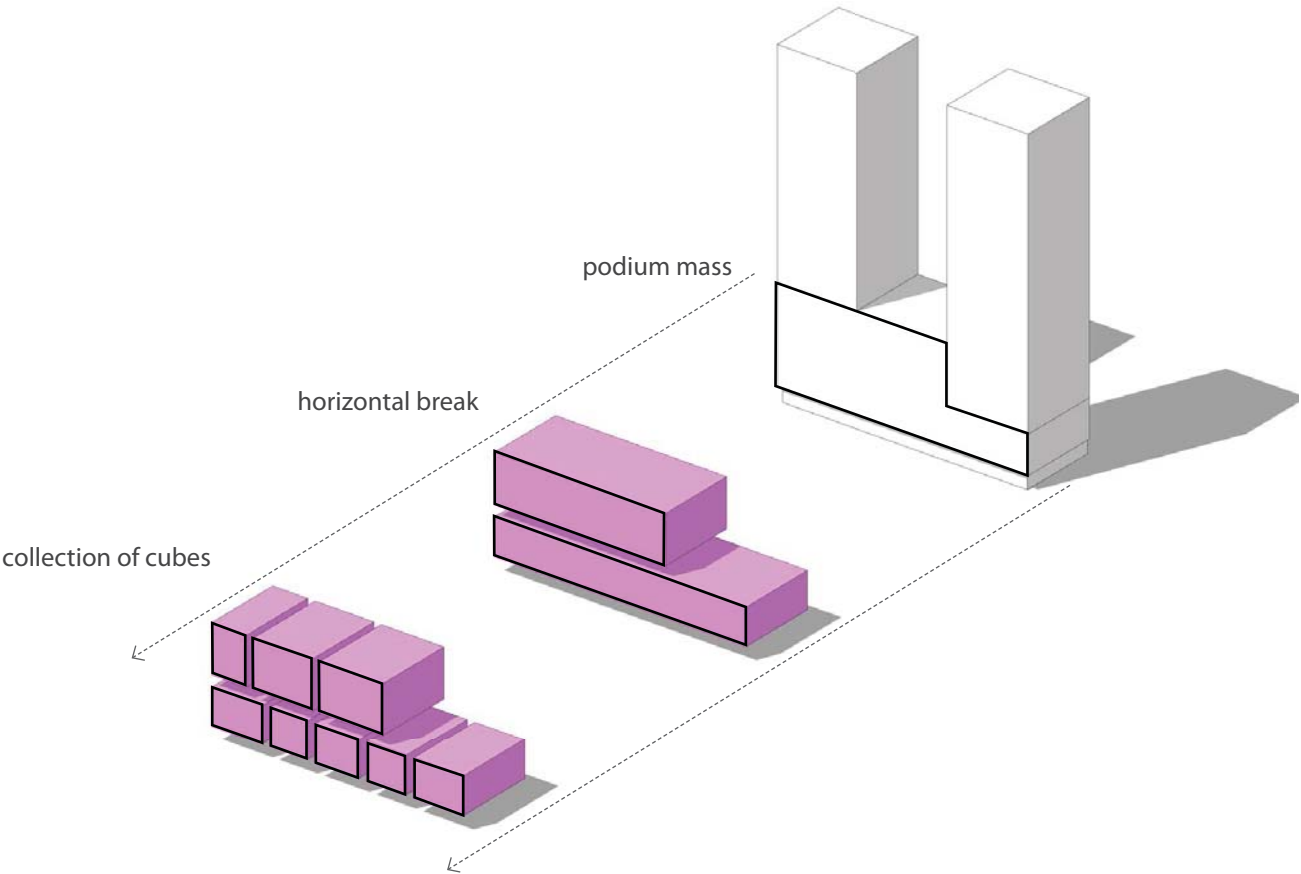
- Provide a design with one of the towers eroding the podium to break up its massing as shown in Option 2
- Provide a design with the stepping down of the open space on the podium top as shown in Option 3
- Study the facade treatment of the retail space and above parking levels. Consider using the retail facade treatment at the parking levels.

3. Streetscape (B3.3, C1, C1.3, D1.2, D3.1, D6.1)

- Along Bell Street, push back or cant the podium facade at grade and above to be similar in spirit to what was proposed in Option 3
- Activate the retail space along Battery Street with the design of the street



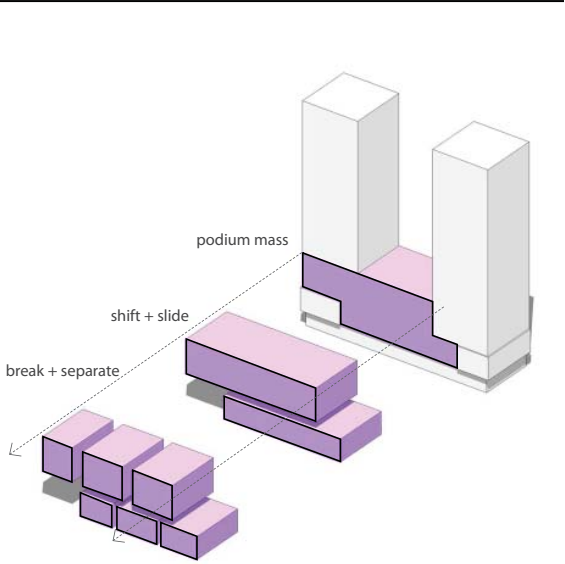
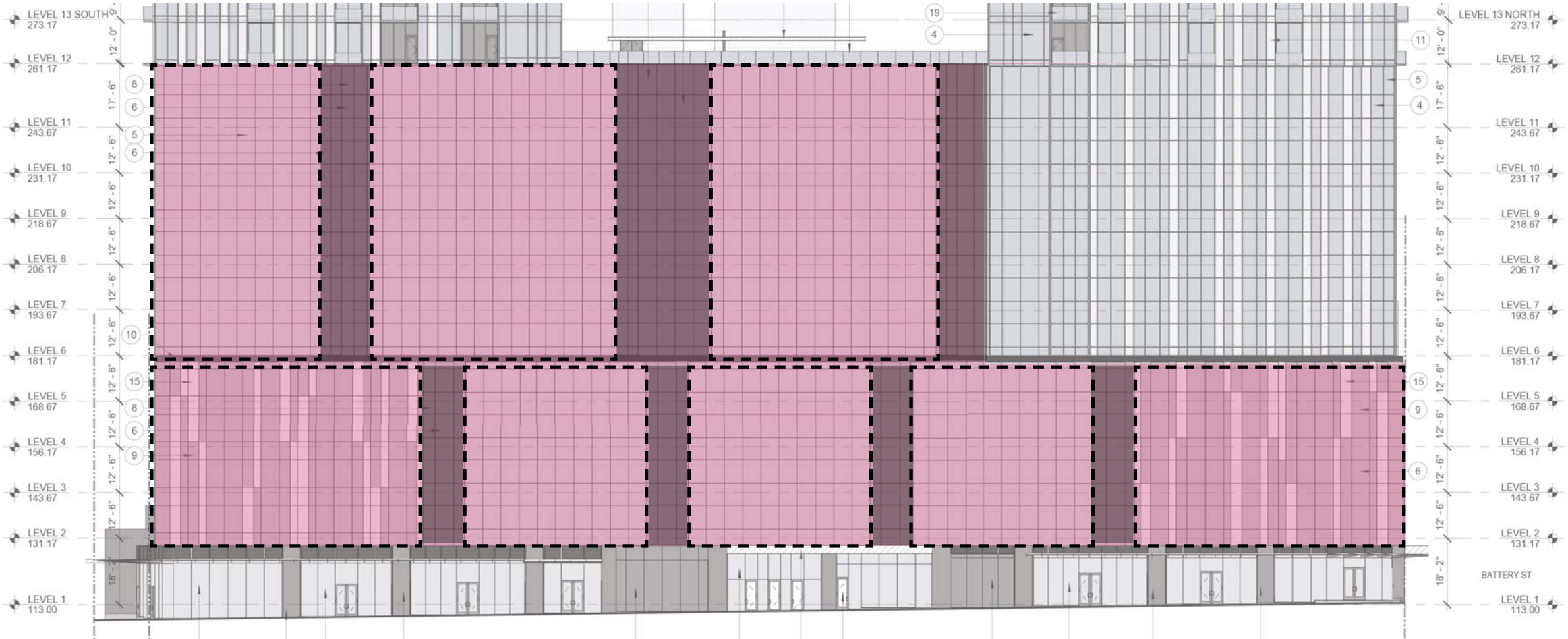
Asymetrical Sitting
EDG Option 2



Provide a design with one of the towers eroding the podium to break up its massing as shown in Option 2

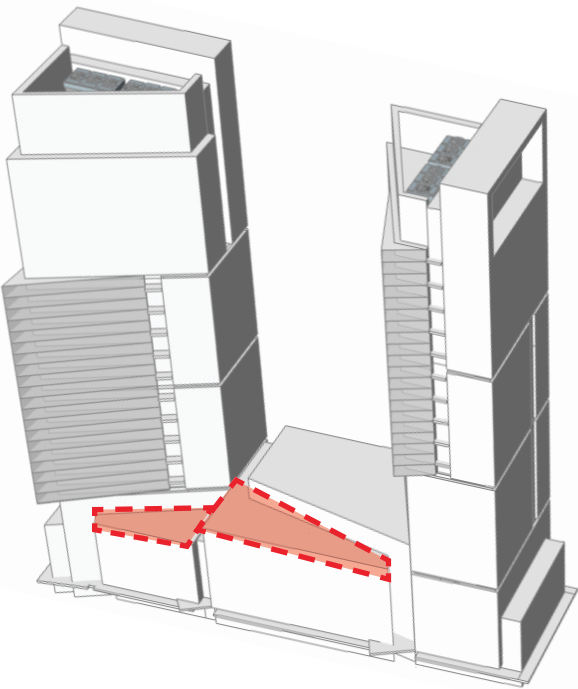
The podium will slide down and sit between the grounded tower and the glass base cubes. The idea that these ice cubes will trickle down and reach the base is emphasized with this design. The cubes break apart, pull apart, and sit individually as the building blocks of the project above. These blocks are sandwiched between a condition typical to the surrounding neighborhood datum which gives the design a unique playfulness and neighborhood familiarity.

The complexity of Block V, from it's mass to the uses within the building, can be strongly emphasized at the pedestrian scale, and subtly defined above. A juxtaposition between typical and new.



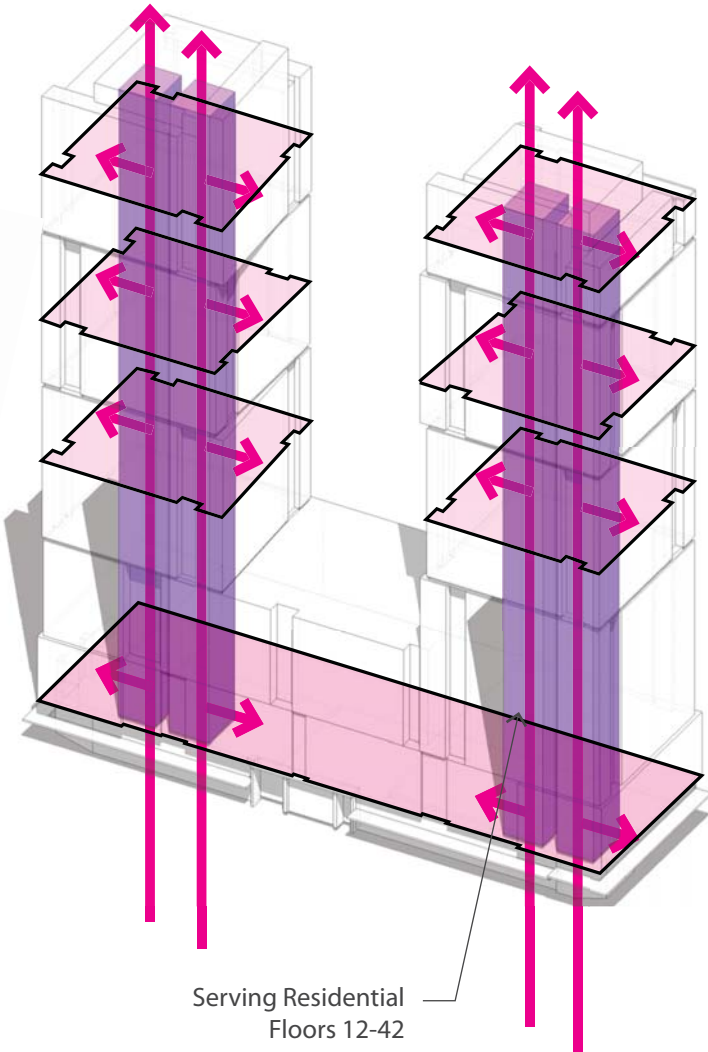
DRB Approved Tower Massing
w/ conditions (January 19, 2016)

EDG Option 3:

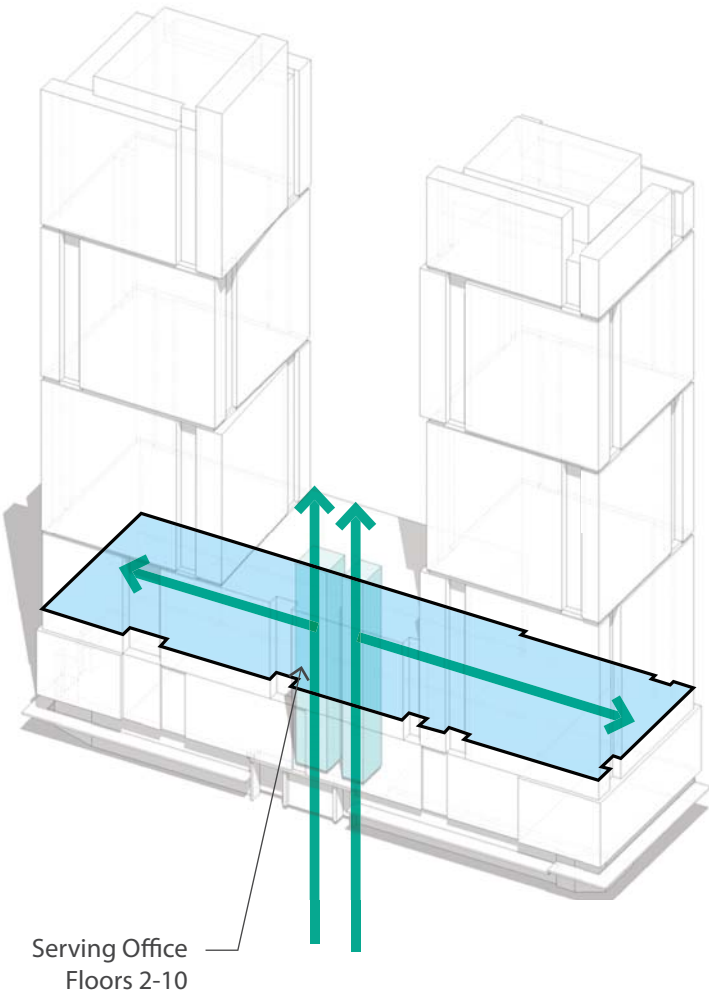


Office
Residential

Residential Cores:



Office Core:

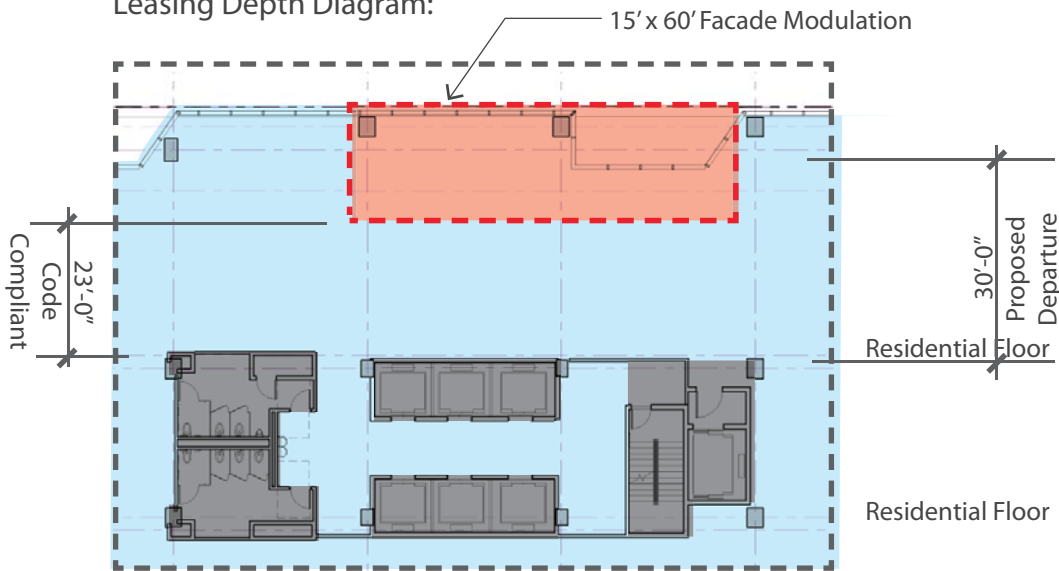


Podium / open space stepping down at top.

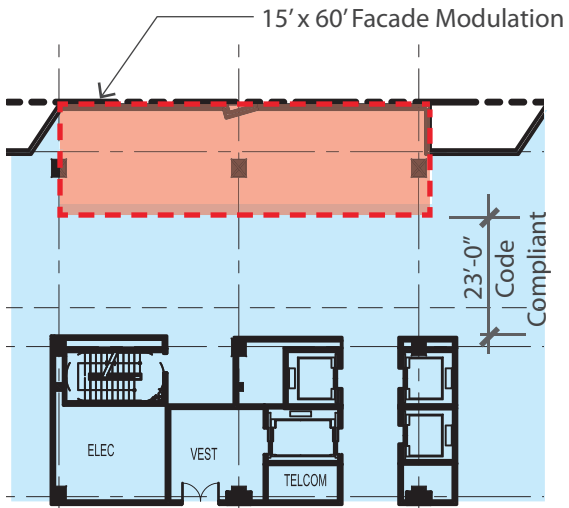
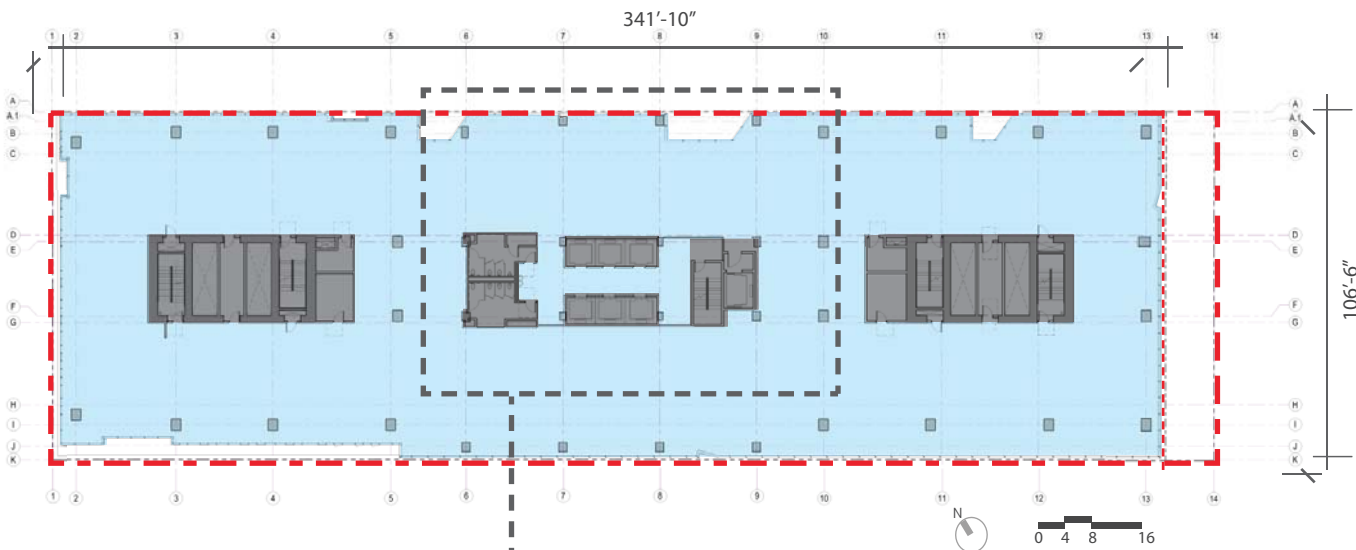
The proposed step of the previous design options did not include a dedicated office core. Once this was added, the step was no longer feasible considering the impact on the depth of the office space and its leasing flexibility along 7th Avenue. In addition, the step occurs at the 10th floor of the project, reducing the positive impact of the recess at the pedestrian level. Instead of utilizing the prescribed modulation approach, we propose that the podium's character is positively enhanced by dispersing the prescribed modulated area through out 7th Avenue's facade, bringing a large percentage of it lower on the facade, actually making it more impactful at the pedestrian level.

Leasing depths not including corridor would reduce to 23'-0" under code compliance, where as leasing depths would be 30'-0" not including corridor under proposed departure.

Leasing Depth Diagram:



Typical Office Floor:



DRB Approved the Rescission of Open Space Stepping Guidance (January 19, 2016)



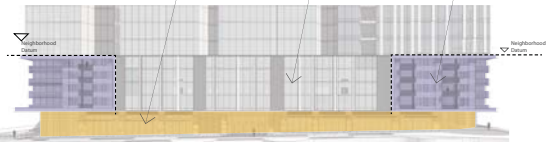
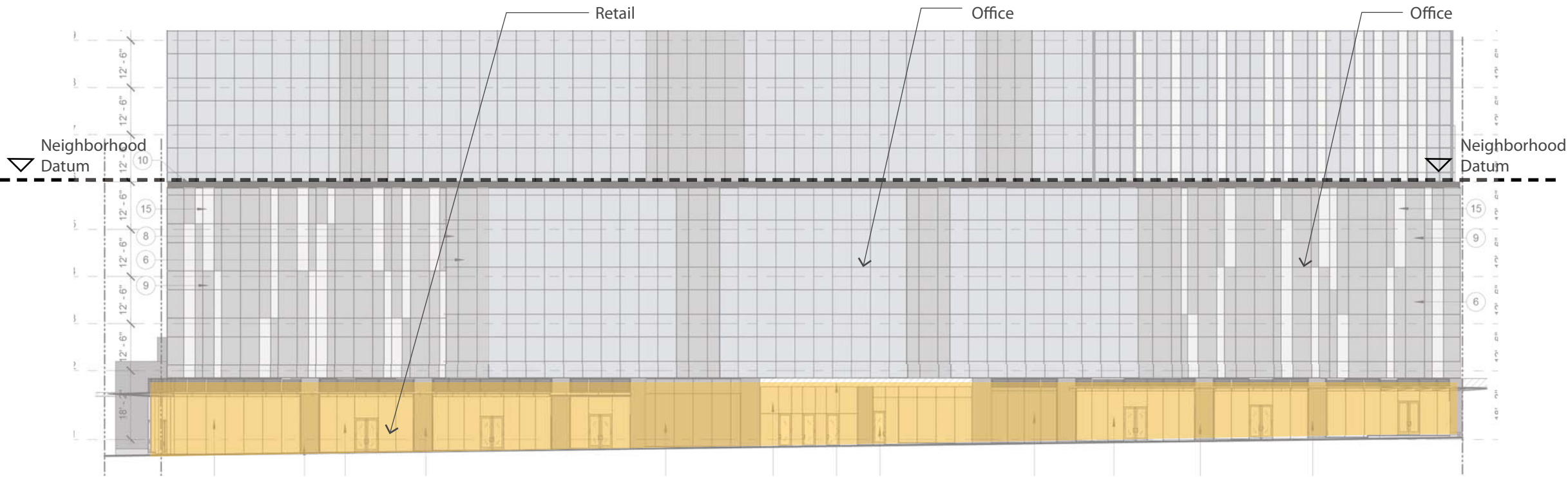
Study the facade treatment of the retail space and above grade parking levels. Consider using the retail facade treatment at the parking levels.

Levels 2 through 5 no longer include parking above grade or residential uses. These levels have been converted to office, therefore utilizing office facade language in the current concept.

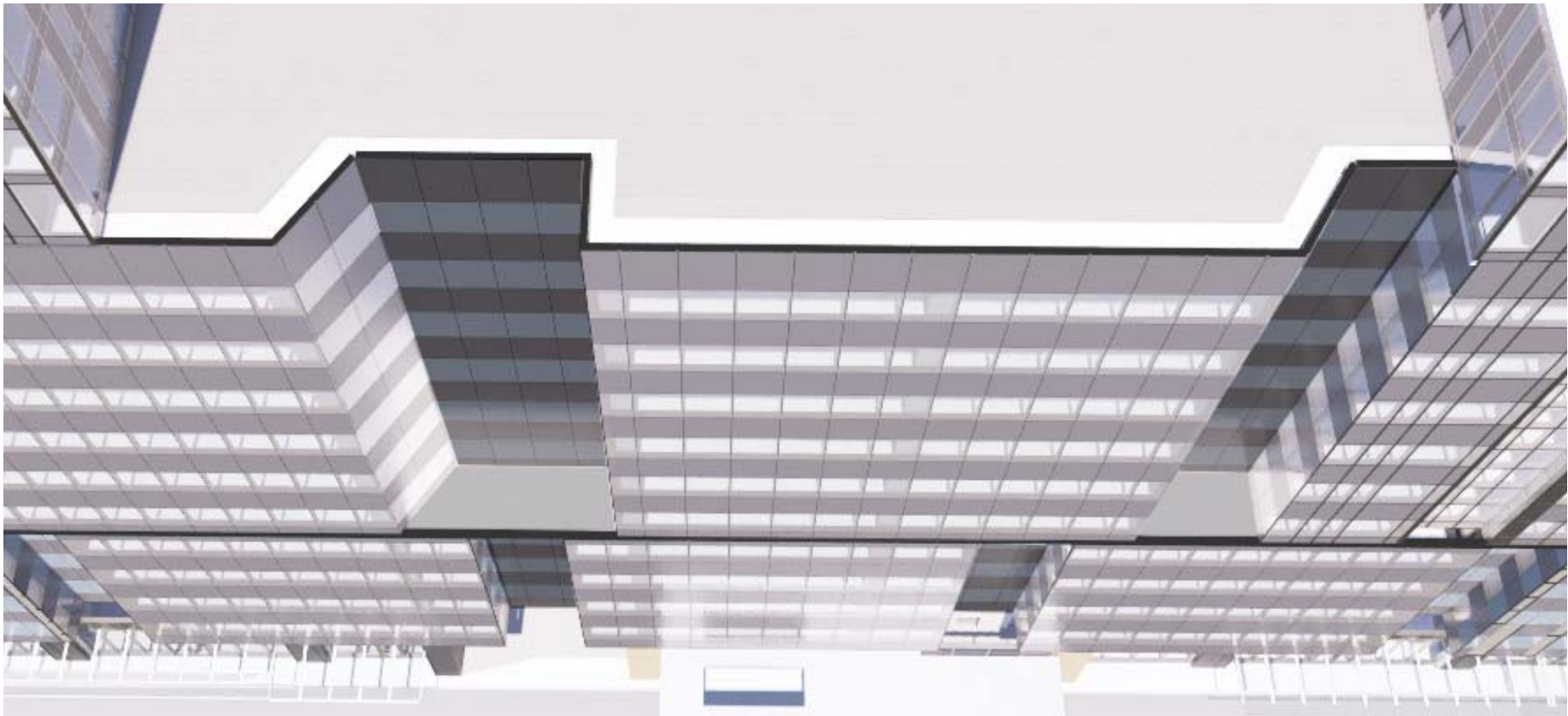
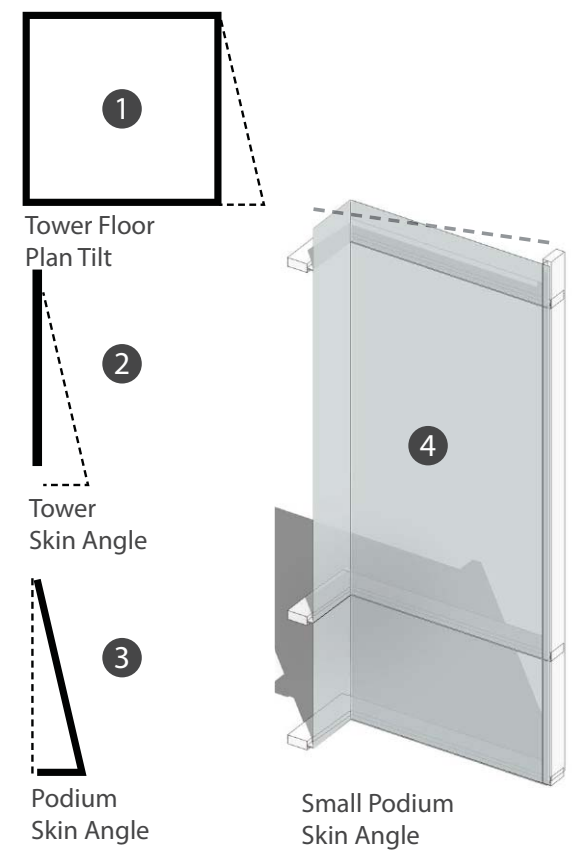
The podium design along 7th avenue will emphasize the tower character from above and the neighborhood character from Belltown below. Since the site has access to green streets, the emphasis on 7th Avenue introduces the project as you enter the city from Highway 99, while still respecting the existing Belltown neighborhood datum to the west along Bell and Battery streets.

At the retail base of the podium, the mass carves back and under the podium.. This will lift the uses visually off the street and engage the pedestrian with the skin of the podium's design.

The office components occurring within the podium will bring the Belltown neighborhood character as a unique engaged accent for the podium. This will keep the pedestrian experience similar to smaller scale Belltown projects while acknowledging the project area above.



**DRB Approved Podium
Facade Design**
w/ conditions (January 19, 2016)

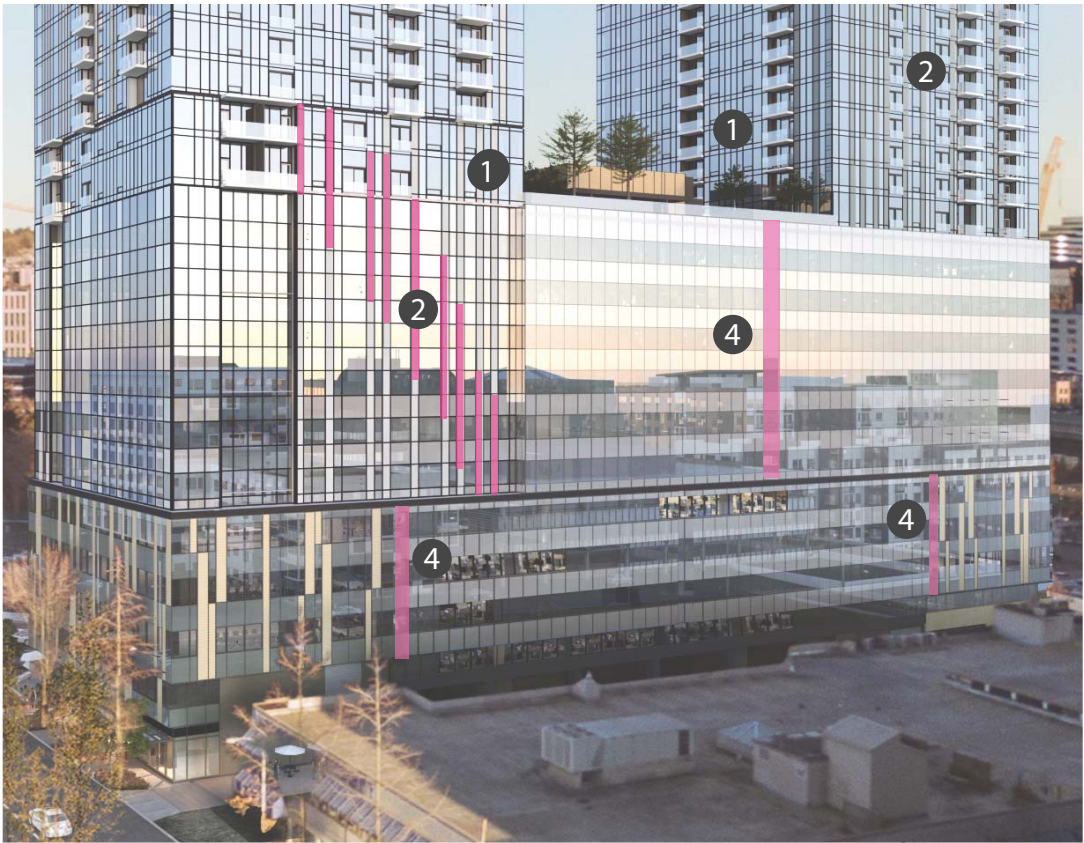
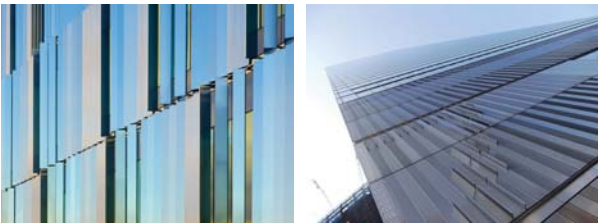


Consider panelized modules, different materials and reveals to bring tower to base.

The podium utilizes our proposed departure to break the office facade into different components. One modulation separates the tower from the office facade, and the others break the large glass “ice cubes” into 3 different blocks. Further dissecting the office facade with creative slits will help break up the large mass with a subtle approach.

As the facade treatment is carried below to the lower office levels, a similar facade component is utilized. The interior cubes of the podium levels will also be treated similar to the upper glass cubes

The book-ends of the lower office components will emphasize similar character of Belltown and bring the large project to the pedestrian scale. These blocks will break away from the consistent language to give the towers and podium a strong base, similar to the scale of the neighborhood.



DRB Approved Podium Facade Treatment
w/ conditions (January 19, 2016)

A-2.1	Desired Architectural Treatments:	
	-Podium utilizes similar angular language to pull the entire concept to the ground level	✓
	-Materials and angles enhance the angular language and create an interesting facade.....	✓
	-The roof top space of the podium serves as an amenity deck for all uses.....	✓
B-4.1	Massing:	
	-Project massing and design has emphasized the required city compliance measures	✓
C-3.1	Desirable Facade Elements:	
	-Ground level is pushed inward to enhance the vertical break up of the facade and to create interest for the retail level	✓
	-Podium elements are divided among their use through different facade treatments creating a true mix-use building visually.....	✓
E-2.1	Integrate Parking Facilities:	
	-Parking is completely underground	✓

1. Tower and Massing (A2, A2.1, B2, B4.1, B4.3, C2.1)

- Provide a design that combines the towers of Option 1 and the asymetry of Option 2 in the way the towers meet the podium
- Provide a design with one of the towers eroding the podium and reaching the base.
- Encouraged a design with panelized modules, as it would allow for an interesting design with different materials. Use reveals between modules to bring the tower down to the base
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- Provide a design with one of the towers eroding the podium to break up its massing as shown in Option 2
- Provide a design with the stepping down of the open space on the podium top as shown in Option 3
- Study the facade treatment of the retail space and above parking levels. Consider using the retail facade treatment at the parking levels.

3. Streetscape (B3.3, C1, C1.3, D1.2, D3.1, D6.1)

- Along Bell Street, push back or cant the podium facade at grade and above to be similar in spirit to what was proposed in Option 3
- Activate the retail space along Battery Street with the design of the street

Bell Street Corner



Battery Street Corner

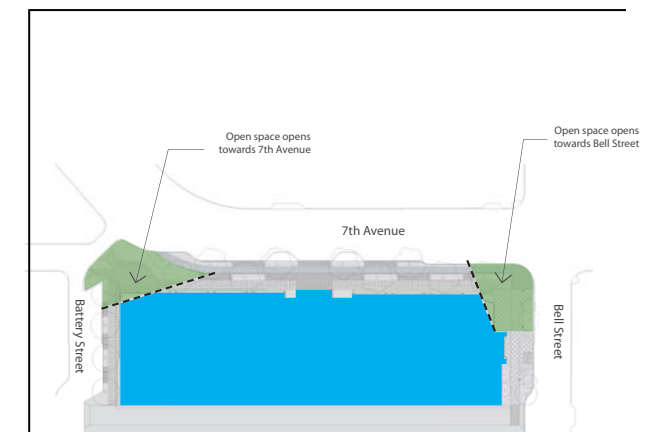
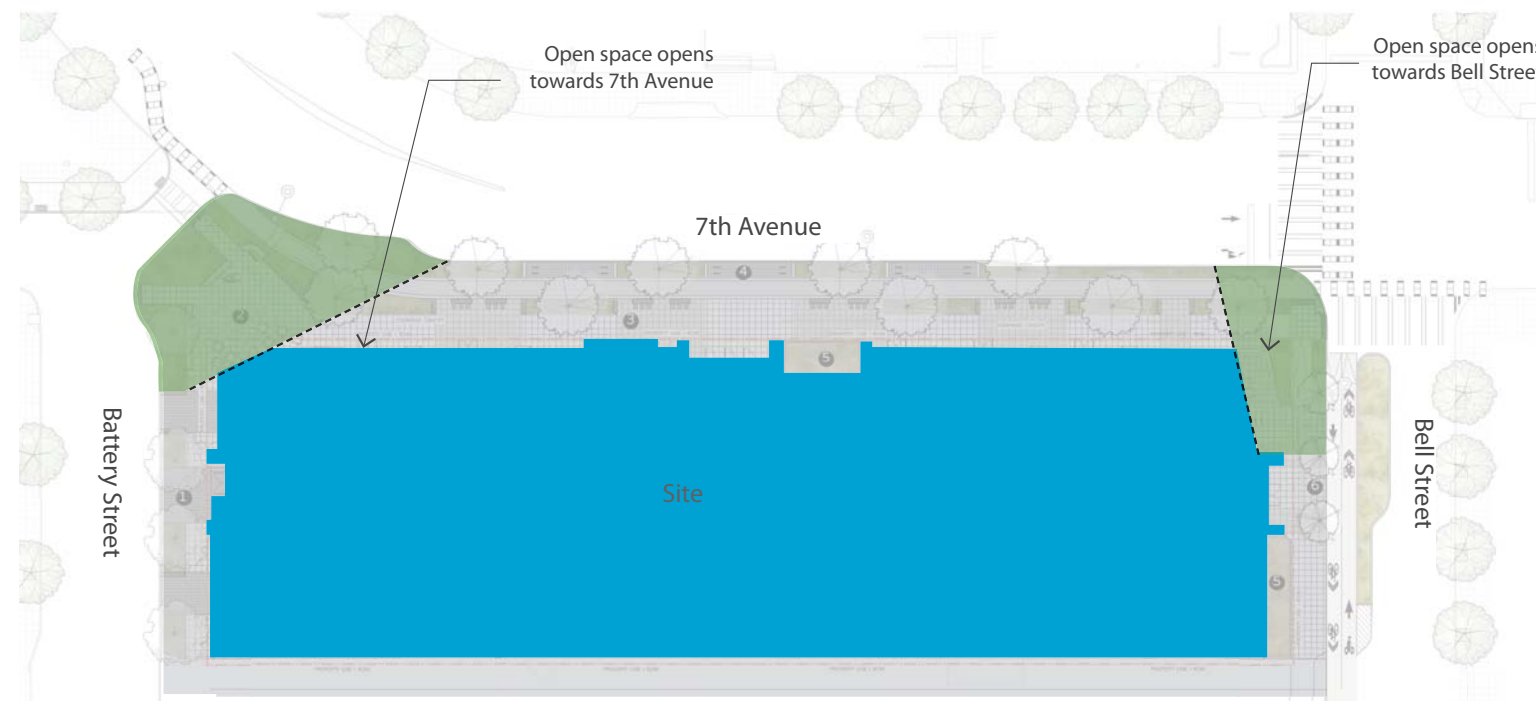
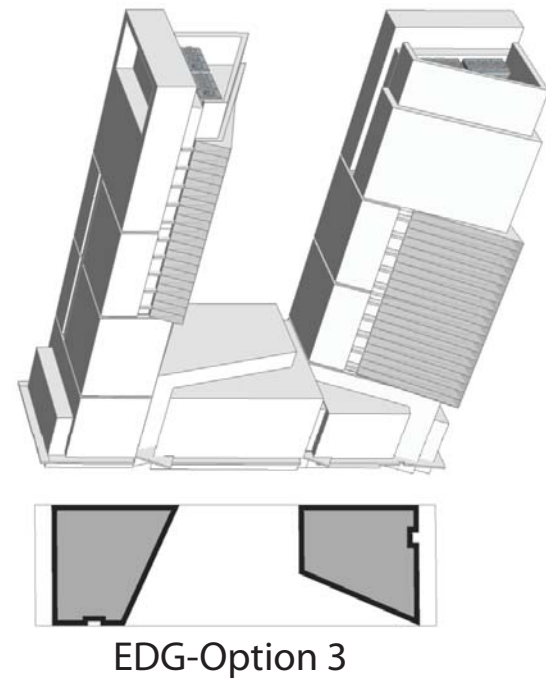


Push back or cant podium facade at grade along Bell Street similar to Option 3.

The facade along Bell Street directs the pedestrian with a playful angle opening up to 7th Avenue. The presence of angles within the project's design give an opportunity for a gentle plan accent as the street retail tucks under the podium and project above.

To make the concept stronger, and to emphasize the pinwheel design effect, an angular plan design was introduced on the 7th Avenue and Battery Street corner. Rather than tilt the plan down Battery Street, the angle largely occurs on 7th Avenue. This will emphasize the idea of an angle pinwheeling in plan, and will give an asymmetrical concept to the retail base.

In plan, the emphasis is to engage not only the streets, but the corner as well. Engaging both corners allows these Green Streets to connect to one another and complete the treatment on all 3 major facades.



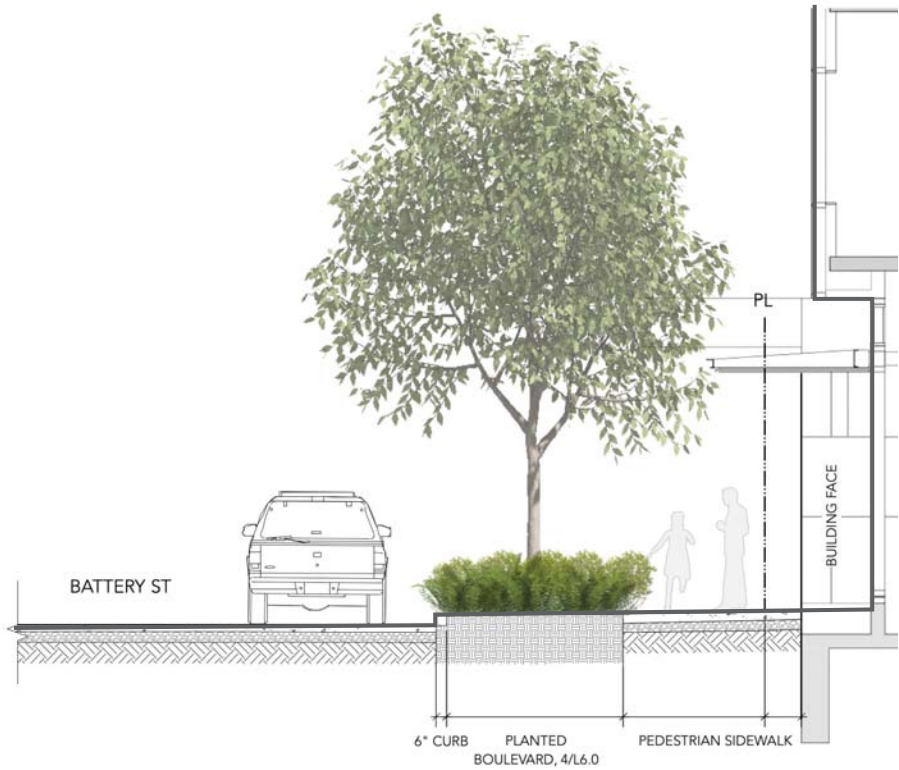
**DRB Approved Streetscape
Angled Facade:
(January 19, 2016)**



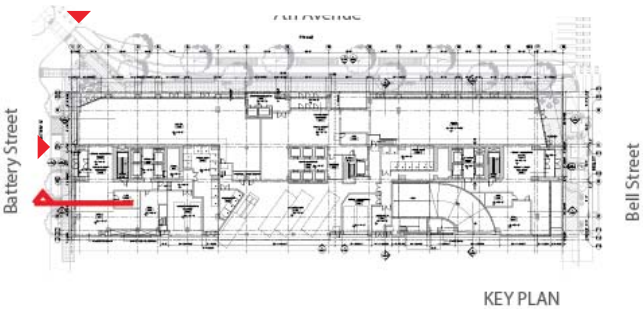
Battery Street

Activate the retail space along Battery Street with the design of the street.

The facade along Battery Street directs the pedestrian with a playful angle opening up to 7th Avenue. The combination of residential lobby, retail corner, robust landscape, and corner plaza will have extensive activity through out the day.



Battery Street Sidewalk and Plaza perspective



DRB Approved
Battery Street Design Activity
(January 19, 2016)

B-3.3	Pedestrian Amenities at the Ground Level:	
	-Ground level retail is tucked under the podium to break up verticality	✓
	-Corners at Bell Street and Battery Street chamfer to open up towards 7th Avenue	✓
	-Provide protected bike lane and green street amenities along 7th Avenue to enhance the experience on Block V	✓
C-1	Promote Pedestrian Interaction:	
	-The bike lane median separation along 7th Avenue will be a welcoming safety feature for cyclists passing the project	✓
	-The street level retail & restaurant spill out will be a welcoming feature on all three sides of Block V	✓
	-Canting the facades along the city green streets will welcome the interaction along Bell Street and Battery Street	✓
C-1.3	Street Level Articulation for Pedestrian Activity:	
	-The street level set back engages the public within Block V. Providing shield from the elements and opening up to the pedestrian streets	✓
	-There are multiple building entries for the multiple uses. Office entry on 7th Avenue and residential entry on Bell Street and Battery Street	✓
	-More than the code requirement for transparent facade is provided enhancing retail & restaurant uses	✓
	-The mix of materials at the street level along the entries will enhance the importance and detail along the pedestrian level	✓
D-1.2	Open Space Features:	
	-Bell Street Park adjacent to the project is enhanced through a canted facade turning toward 7th Avenue	✓
	-Pedestrian scaled lighting will create interest and keep the pedestrian safe through project interaction	✓
	-Through different design elements such as landscaping and paving patterns, the project will create interest through the design at the street level	✓
	-Spill out space available on all three street facades	✓
D-3.1	Public Space Features and Amenities:	
	-Enhanced tree planting created along 7th Avenue projected bike lane median	✓
D-6.1	Safety in Design Features:	
	-Site lighting provided for safety and design purposes	✓
	-Building entries clearly defined through material and massing	✓
	-Transparent facade exceeds code requirement	✓

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- The Board voted, unanimously to recommend this departure.
4. **Facade Setback Limits (SMC23.49.056.B.2.d):** The Code requires, on streets not requiring property line facades, that the maximum setback of the facade from the street lot lines at intersections is 10 feet. The minimum distance the facade must conform to this limit is 20 feet along each street. The applicant proposes a greater setback at the corner of 7th Ave and Bell St, with a setback of 20’ from Bell St. and 20’from 7th Ave.
- This departure would provide an overall design that would better meet the intent of Design Guideline **B3.3 Pedestrian Amenities at the Ground Level, C1.1. Street Level Uses, and C1.2 Retail Orientation**. The setback along Bell St is in keeping with the concept of providing generous open space along designated Green Streets, area for pedestrian amenities and area for usable space adjacent to commercial space.
- The Board voted, unanimously to recommend this departure.
5. **Upper Level Façade Modulation (SMC23.49.058.B&C):** The Code requires in certain downtown zones with certain uses, modulation above 85’ in height. The applicant requested departures from modulation standards which the Board unanimously recommended.
- Staff note: the zoning reviewer on the project has determined that these modulation departures are not needed.

BOARD RECOMMENDATIONS

The recommendation summarized above was based on the design review packet dated Tuesday, January 19, 2016, and the materials shown and verbally described by the applicant at the Tuesday, January 19, 2016 Design Recommendation meeting. After considering the site and context, hearing public comment, reconsidering the previously identified design priorities and reviewing the materials, five Design Review Board members recommended APPROVAL of the subject design and departures with the following conditions:

1. Design the vertical proportions of the cubes at the north tower to be visually pleasing. A variety of heights of the ‘cubes’ is acceptable.
2. Design a facade at the above grade parking, with the ‘solid’ sections mimicking the modulation recesses of the office levels above.
3. Consider a facade at the street facing above-grade parking that back-lights the spandrel glass, to create a subtle glow.
4. Design the terra cotta facade at the residential units at the lower level, to be more modern and in the spirit of the office levels above, at a residential scale.
5. Remove the metal frame that wraps the residential units at the lower levels.
6. Push out the elevations of the residential units at the lower levels to create a separate volume.
7. Design the project to be compliant with code requirements for canopies.

ANALYSIS & DECISION – DESIGN REVIEW

Directors Analysis

The design review process prescribed in Section 23.41.014.F of the Seattle Municipal Code describing the content of the Seattle DCI Director’s decision reads in part as follows:

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- The Director’s decision shall consider the recommendation of the Design Review Board, provided that, if four (4) members of the Design Review Board are in agreement in their recommendation to the Director, the Director shall issue a decision which incorporates the full substance of the recommendation of the Design Review Board, unless the Director concludes the Design Review Board:
- a. Reflects inconsistent application of the design review guidelines; or
 - b. Exceeds the authority of the Design Review Board; or
 - c. Conflicts with SEPA conditions or other regulatory requirements applicable to the site; or
 - d. Conflicts with the requirements of state or federal law.

Subject to the recommended conditions, the design of the proposed project was found by the Design Review Board to adequately conform to the applicable Design Guidelines.

At the conclusion of the Recommendation meeting held on January 19, 2016, the Board recommended approval of the project with the condition described in the summary of the Recommendation meeting above.

Five members of the Downtown Design Review Board were in attendance and provided recommendations (listed above) to the Director and identified elements of the Design Guidelines which are critical to the project’s overall success. The Director must provide additional analysis of the Board’s recommendations and then accept, deny or revise the Board’s recommendations (SMC 23.41.014.F3).

The Director agrees with the Design Review Board’s conclusion that the proposed project and conditions imposed result in a design that best meets the intent of the Design Review Guidelines and accepts the recommendations noted by the Board.

Following the Recommendation meeting, Seattle DCI staff worked with the applicant to update the submitted plans to include the recommendations of the Design Review Board.

1. The applicant responded in the MUP plan with a design of the north tower that increased the height of the highest cube and reduced the height of the lowest cube providing for more visually pleasing proportions of the tower, therefore satisfying condition #1.
2. The applicant responded in the MUP plan with a design providing modulation at the gray spandrel glazing sections of the street facing façade at the above grade parking mimicking the deeper grey spandrel glazing modulation of the office façade above, therefore satisfying condition #2.
3. The applicant will provide a design that back-lights the spandrel glass at the above grade street facing parking, providing detailing in the building permit set. As this condition has not been met in the MUP plan set, it will be a condition of the building permit set. (see conditions at the end of this decision).
4. The applicant responded in the MUP plan set by changing the design of the terra cotta façade at the lower residential units by providing vertical terra cotta sections that are in the spirt of the vertical modulation and vertical metal panels at the office levels, thereby satisfying condition #4.
5. The applicant responded in the MUP plan set by removing the metal frame at the lower level residential units, thereby satisfying condition #5.

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6. The applicant responded in the MUP plan set by moving the street facing elevations of the residential units at the lower levels closer to the property lines, thereby satisfying condition #6.
7. The applicant responded in the MUP plan set by showing canopies on the plans and elevations, therefore satisfying condition # 7. As no departure was requested for weather protection standards, all canopies will be required to meet the Land Use Code requirements.

The applicant shall be responsible for ensuring that all construction documents, details, and specifications are shown and constructed consistent with the approved MUP drawings.

The Director of Seattle DCI has reviewed the decision and recommendations of the Design Review Board made by the five members present at the decision meeting and finds that they are consistent with the City of Seattle Design Review Guidelines. The Director is satisfied that recommendations 1, 2, 4, 5, 6 and 7 of the recommendations imposed by the Design Review Board have been met and condition 3 shall be conditioned to be met as part of the building permit review.

DIRECTOR’S DECISION

The Director accepts the Design Review Board’s recommendations and **CONDITIONALLY APPROVES** the proposed design and the requested departure with the conditions summarized at the end of this Decision.

II. ANALYSIS – SEPA

A Final Environmental Impact Statement (FEIS) was published for the Downtown Height and Density Changes EIS issued in 2005. The FEIS evaluated the probable significant environmental impacts that could result from the redevelopment following a change in zoning to allow additional height and density in the Downtown zones. That analysis evaluated the direct, indirect, and cumulative impacts of the Preferred Alternative and other alternatives.

The subject site lies within the geographic area analyzed in the FEIS. The proposed development is within the range of actions and impacts that were evaluated in the various alternatives. Seattle DCI determined that it is appropriate to adopt the FEIS and prepare an EIS Addendum to add more detailed, project-specific information related to the proposed development.

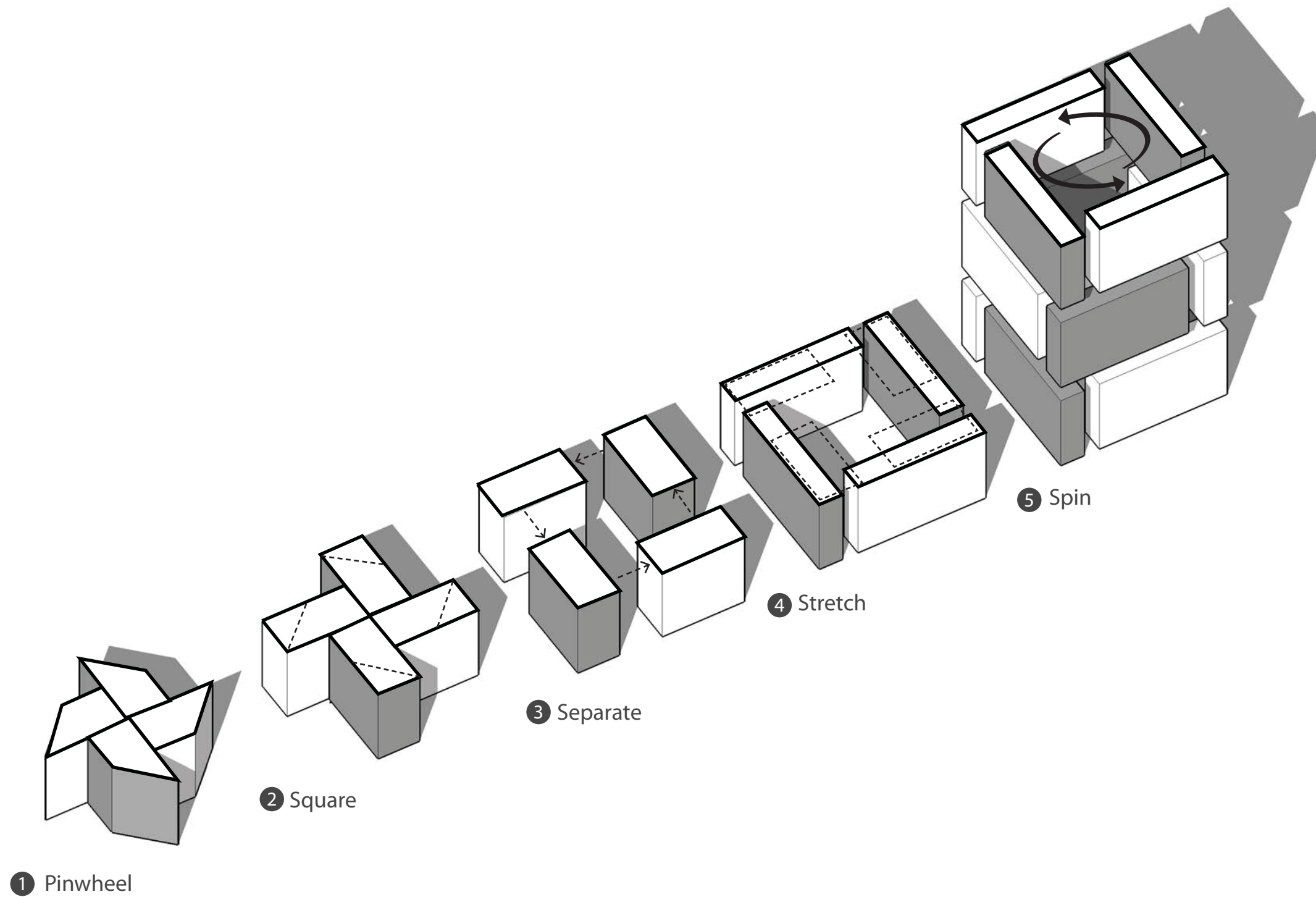
Seattle DCI relies on SMC 25.05.600, allowing the use of existing environmental documents as part of its SEPA responsibilities with this project. Seattle DCI has determined that the proposed impacts for this Master Use Permit are identified and analyzed in the referenced FEIS; however additional analysis is warranted as permitted pursuant to SMC 25.05.625-630, through an Addendum to the FEIS. After review of the Final Downtown Height and Density Changes EIS, Seattle DCI has concluded that any significant impacts associated with the action were adequately analyzed in the EIS.

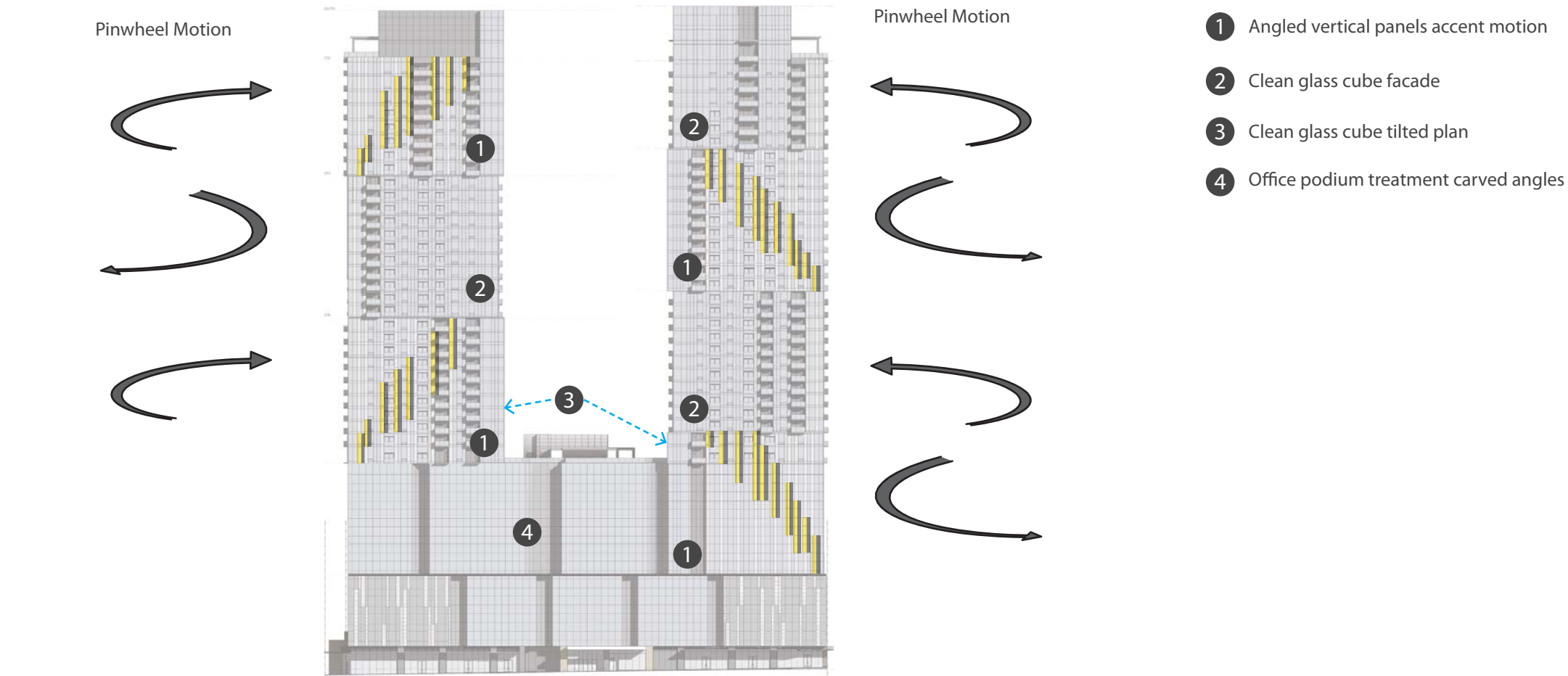
The Addendum adds analysis or information about the proposal and does not substantively change the analysis of significant impacts and alternatives in the EIS. The action produces no probable, significant, adverse environmental impacts that were not already studied in the EIS.

Additional Design Exhibits

The pinwheel tower concept gives each tower cube the same identity and collectively spins on a central axis per each cube. To accent the verticality of towers and tower facade treatment, the pinwheel concept breaks the building into separate cubes and gives the horizontal expression a motion rather than applique.

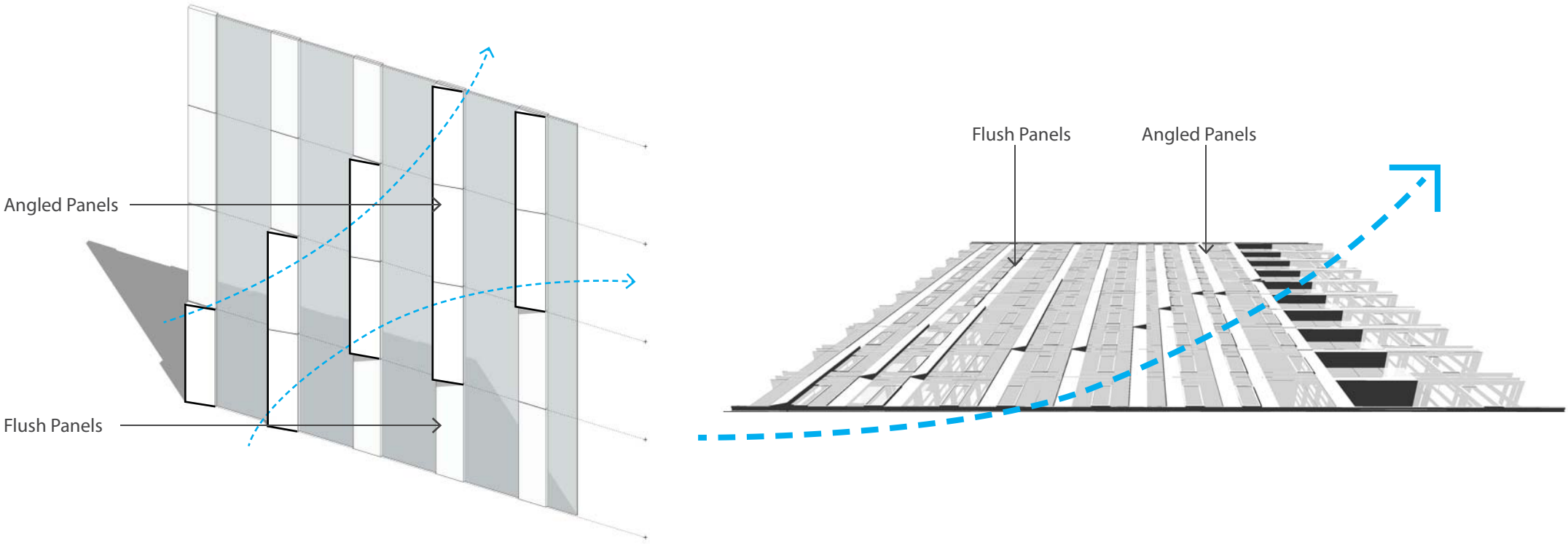
Providing an idea of motion will express the towers playfully on the city skyline. The strong concept of motion is present in the facade design of the towers which accentuate the pinwheel motion upward.



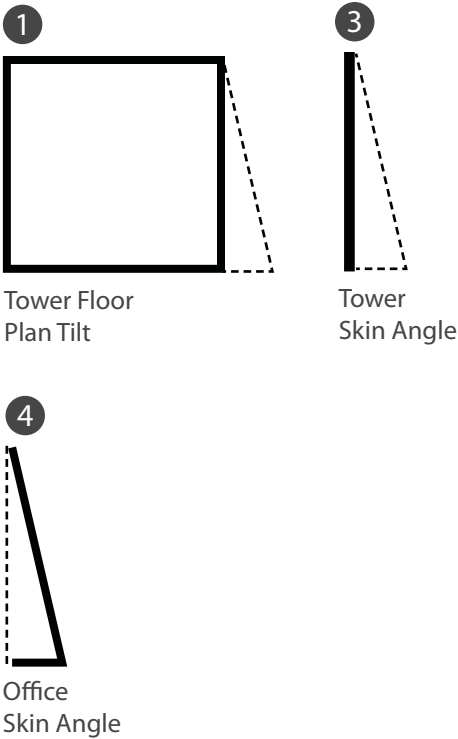


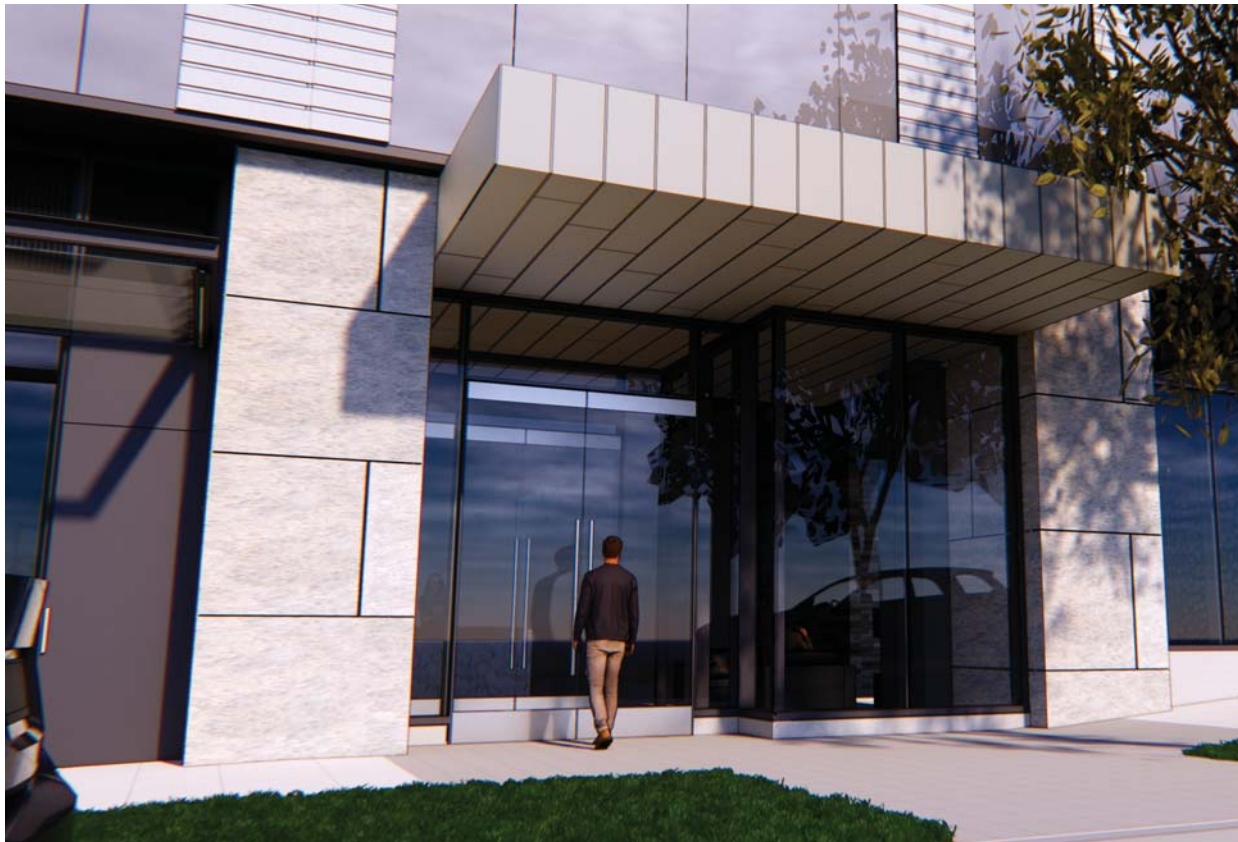
The tower skin emphasizes the motion of pinwheeling cubes. Allowing light to emphasize the idea of motion accentuates the liveliness of the design. The tower design utilizes a simple concept of angling one rectangular face outward as to create a unique visual identification of the pinwheel motion. In doing so in plan, we can do so with the skin elements and introduce a slight angle as to play on the light to create motion, and acknowledge the protrusion one cube's face makes in plan.

The angle is present at every level of the design. Angled faces at retail, an angular DNA presence at the parking podium and office skin, and angular presence in the tower cube design. It's introduction to the tower skin will emphasize itself as a vertical identifier and provide a feeling of horizontal motion. Emphasizing the vertical lines through a panel element brings forth the pinwheel skin and provides a visual break up of each cube's face.

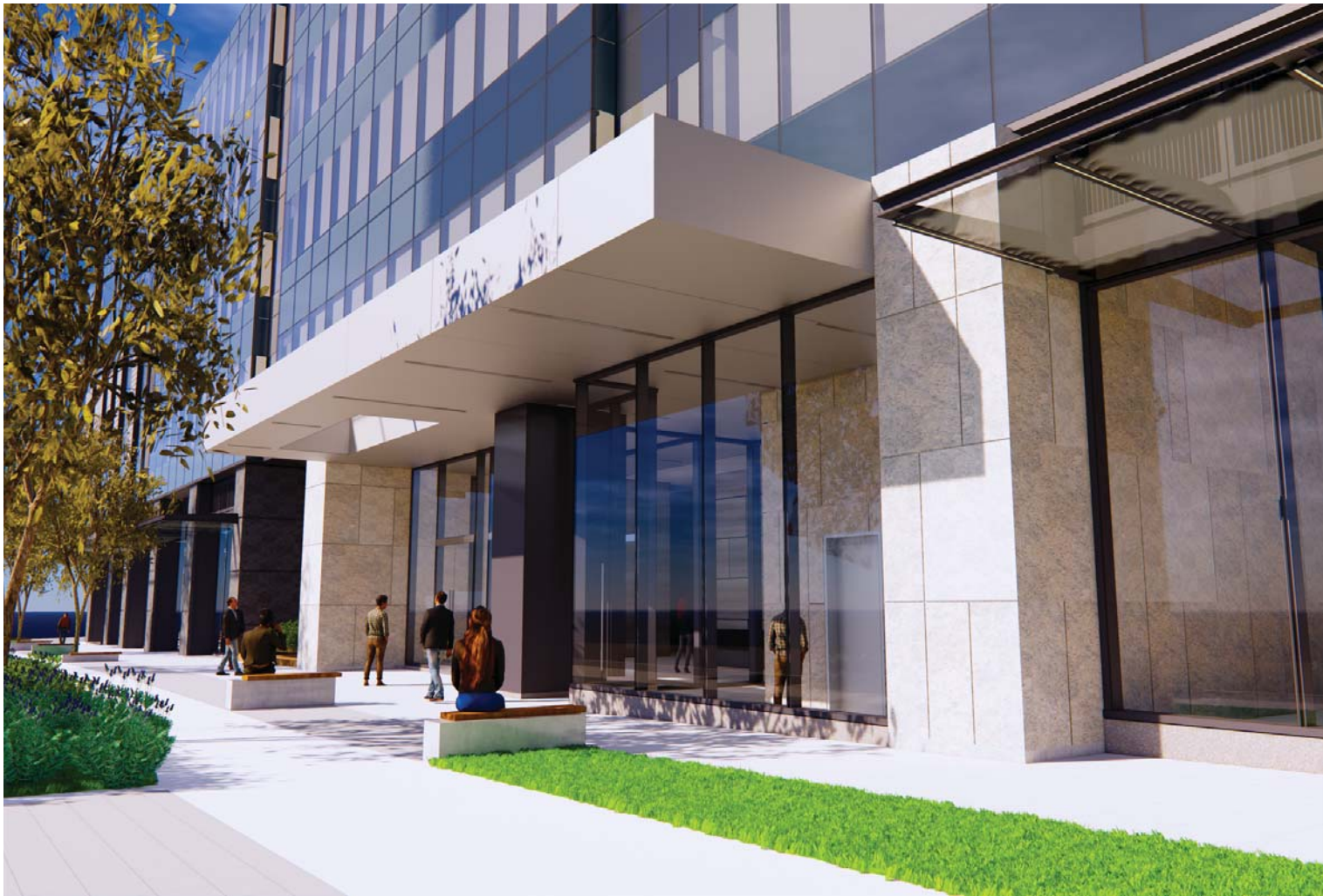


Angles:





Battery Street Residential Entry

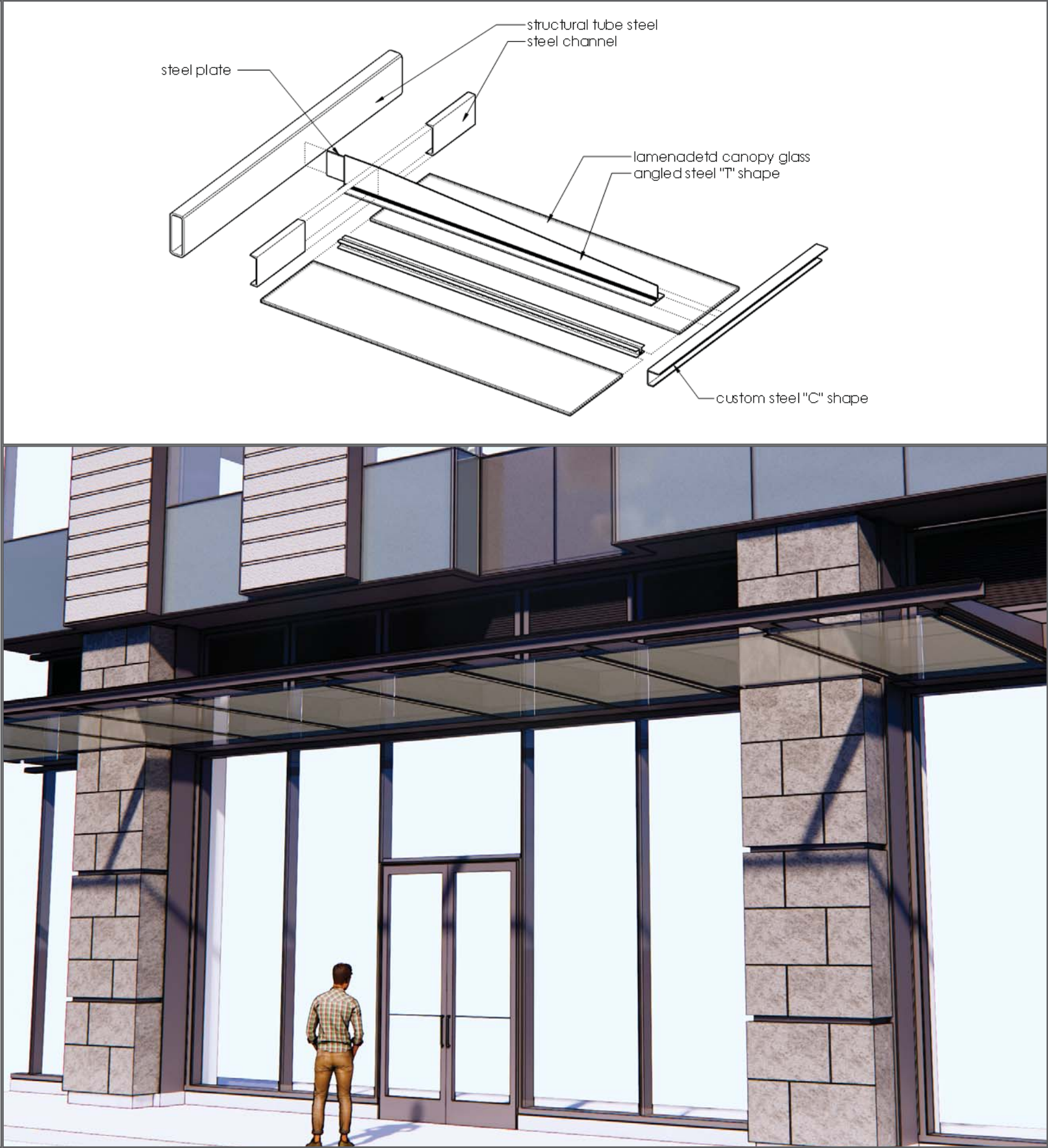
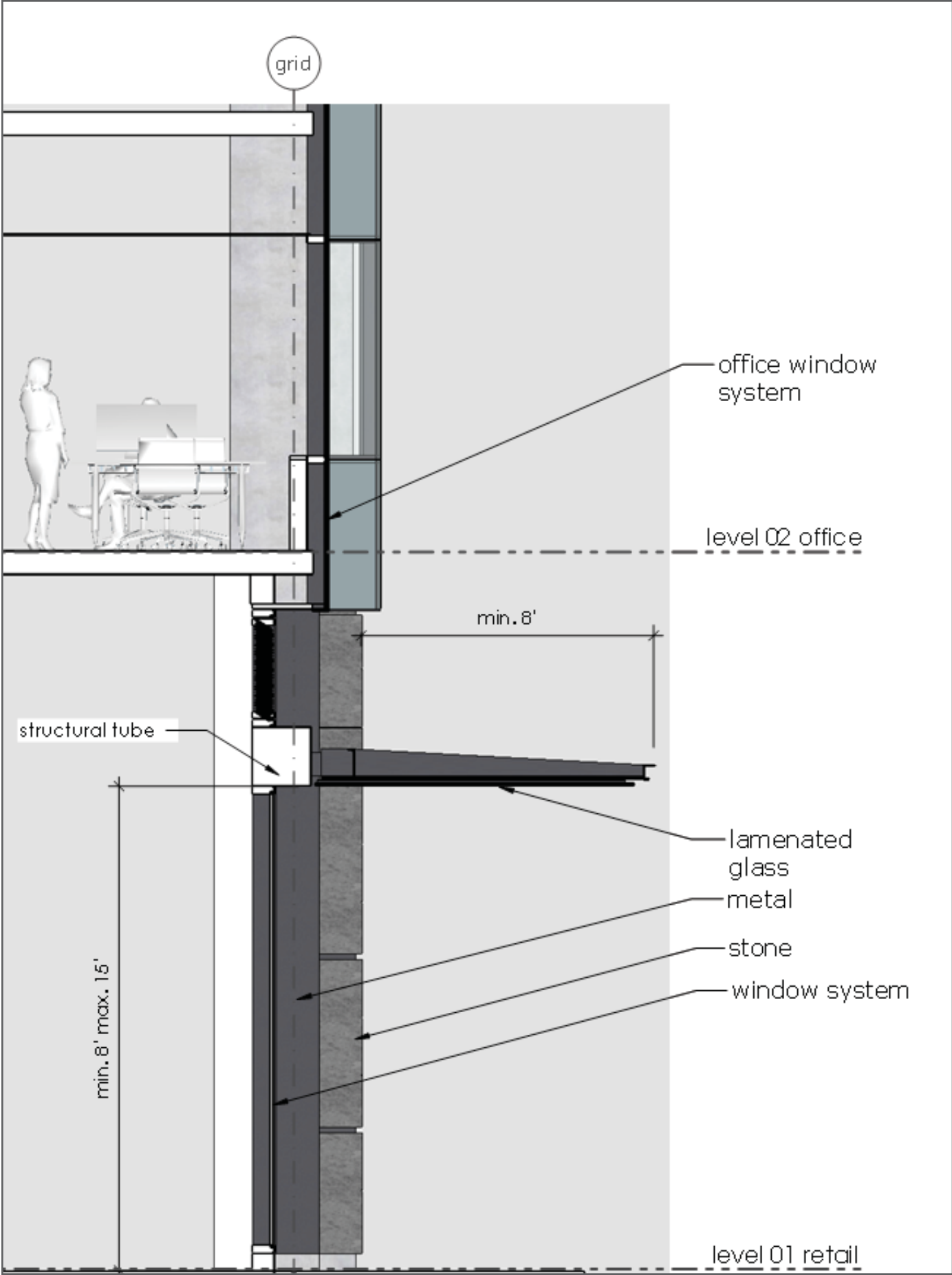


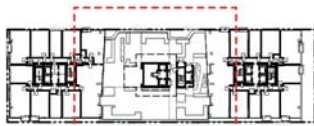
Office Entry



Bell Street Residential Entry







KEY PLAN

AMENITY DECK MATERIALS LEGEND

SYMBOL	DETAIL KEY	DESCRIPTION
		PAVING TYPE 4 - PORCELAIN PAVERS 24" X 36" Pavers
		PAVING TYPE 5 - PORCELAIN PAVERS 24" X 24" & 12" X 24" pavers
		PAVING TYPE 6 - STONE SLAB PAVERS 12" x 36" Banded Stone Pavers
		PAVING TYPE 7 - PIP PLAY SURFACING PIP Rubber Play Surfacing
		PAVING TYPE 8 - ARTIFICIAL TURF K9 Grass Systems
		NON-INFILTRATING BIORETENTION CONCRETE PLANTER - ARCHITECTURAL FINISH
		CIP CONCRETE PLANTER - ARCHITECTURAL FINISH
		SEATING TYPE 3: Cafe Style Seating With Umbrella Option
		SEATING TYPE 4: Stool Seating with Bar-style Table
		SEATING TYPE 5: Moveable Chairs with Moveable Tables By Owner
		SEATING TYPE 6: Moveable Lounge Chairs By Owner
		SEATING TYPE 7: Custom Wood Bench Seating - TBD
		COUCH AND TABLE - By Owner
		FIRE PIT - TBD
		ROCK CLIMBING WALL - TBD
		CHILDREN'S PLAY HOUSE
		PULSE TEMPO Landscape Forms Interactive Play Equipment
		BASALT BOULDERS
		DOG TEETER-TOTTER
		DOGI-POT DOG WASTE STATION
		BBQ WITH PREP TABLE AND SINK - By Owner
		CUSTOM WOOD AND STEEL TRELLIS
		CATENARY LIGHTING Refer to Lighting Plans
		BEAN BAG TOSS / CORN HOLE - By Owner
		OUTDOOR SHUFFLEBOARD - TBD - By Owner
		POOL TABLE - By Owner
		TABLE TENNIS - By Owner
		PROPOSED TREES

KEY ITEMS

- 1

OUTDOOR GAMES AREA
- 2

FIREPIT AREA WITH LOUNGE SEATING
- 3

OUTDOOR CINEMA EXPERIENCE
- 4

BENCHES WITH TABLES AND MOVEABLE SEATING
- 5

TRELLIS COVERED BBQ AREA WITH SINKS
- 6

BIORETENTION PLANTER
- 7

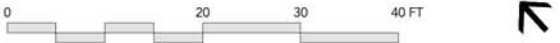
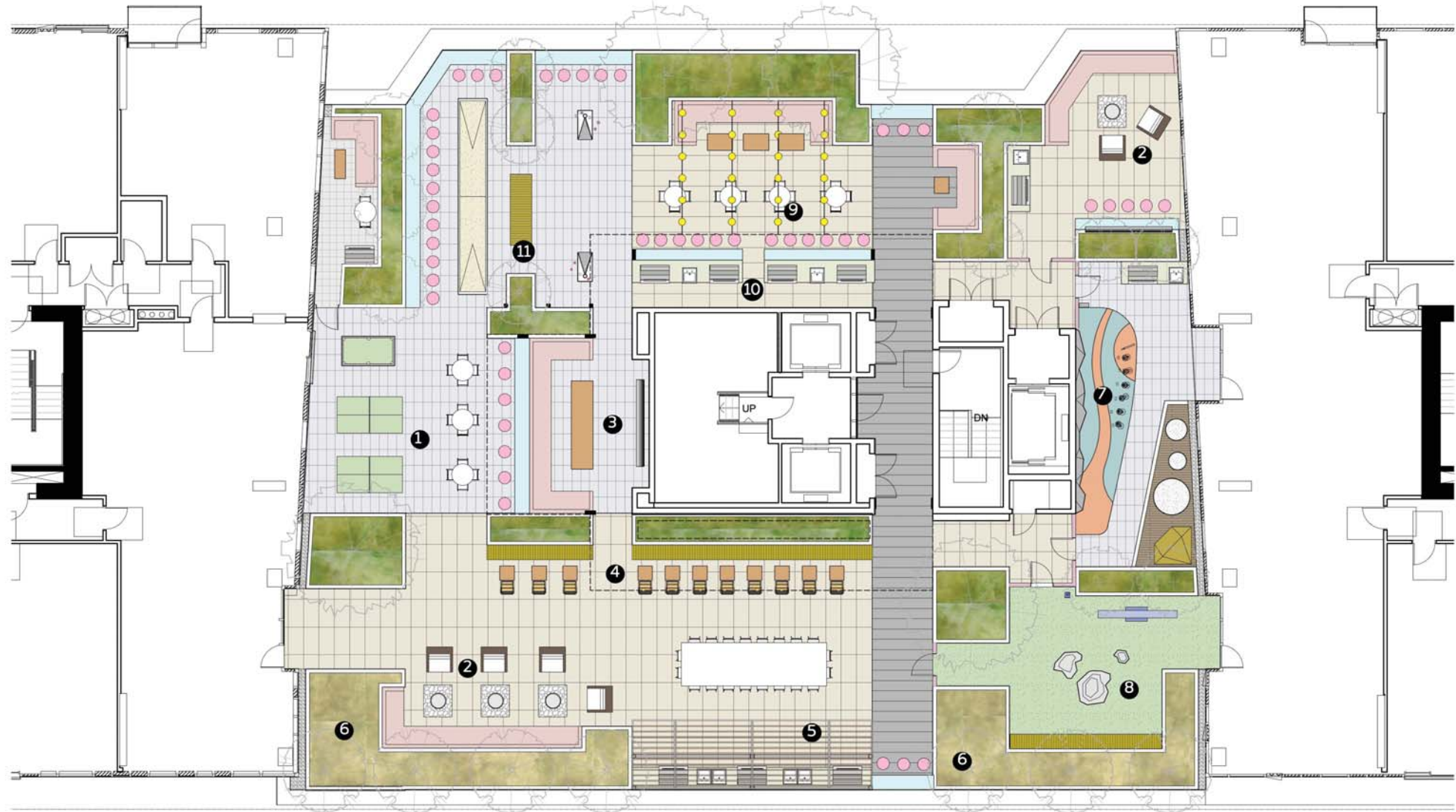
CHILD PLAY AREA WITH CLIMBING WALL AND INTERACTIVE PLAY
ELEMENTS
- 8

DOG RUN AREA
- 9

M MOVEABLE CAFE-STYLE SEATING WITH OVERHEAD LIGHTING
- 10

OUTDOOR BBQ AREA WITH PREP TABLE
- 11

GAMES AREA WITH HORSESHOES AND SHUFFLEBOARD





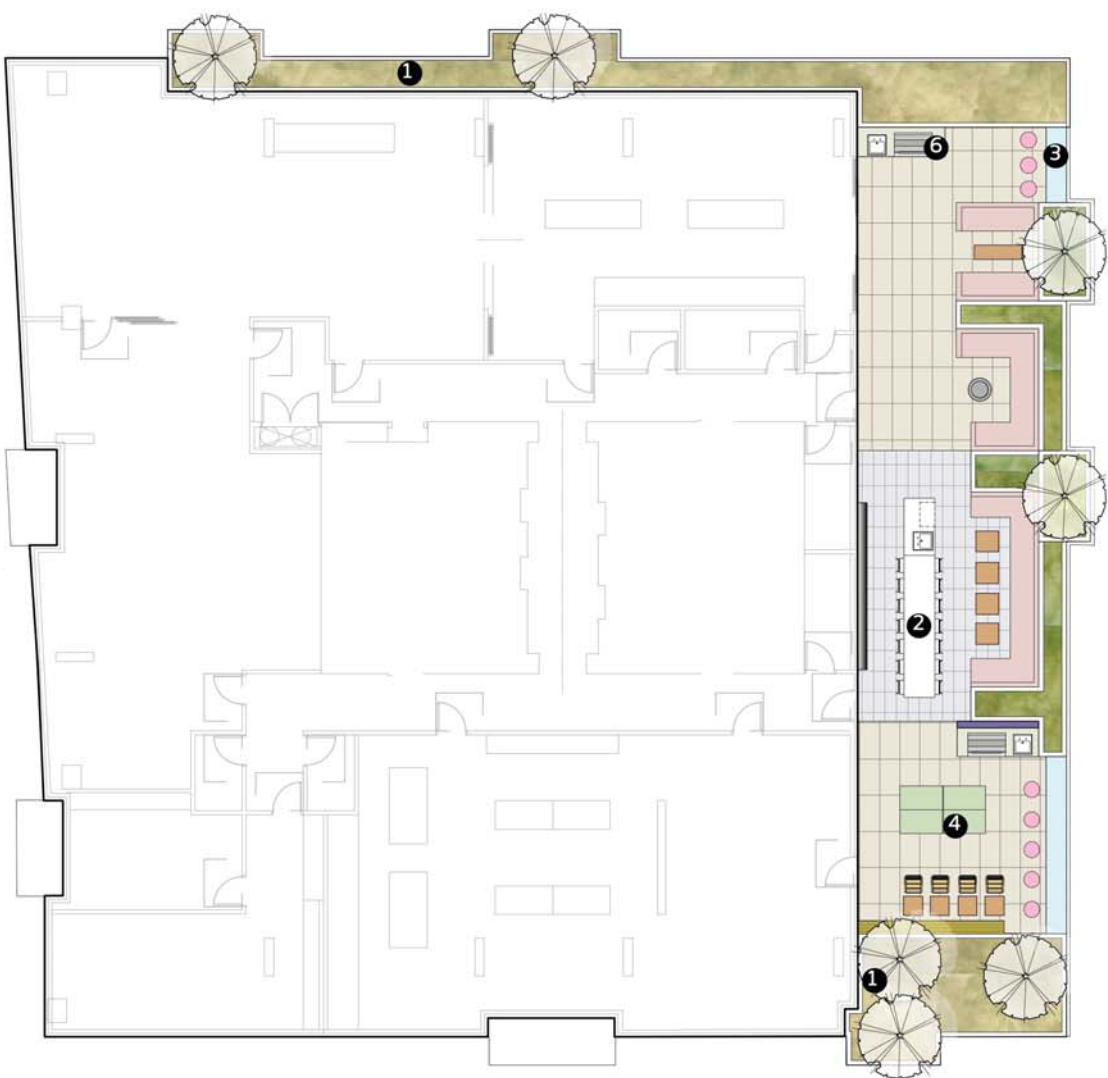
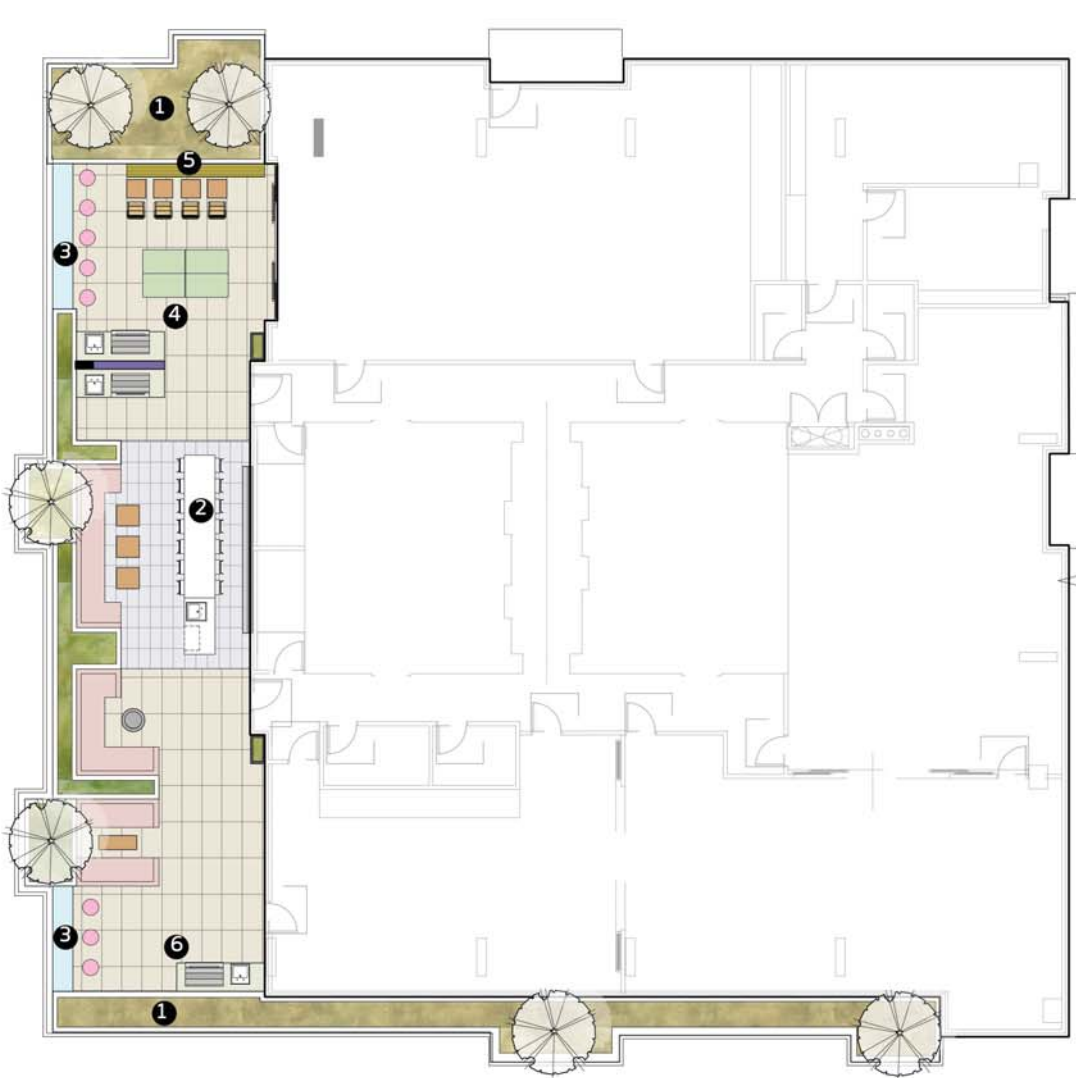
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		POOL TABLE - By Owner
		TABLE TENNIS - By Owner
		PROPOSED TREES

KEY ITEMS

- 1 BIORETENTION PLANTER
- 2 COMMUNAL BANQUET TABLES
- 3 BAR-STYLE TABLE AND STOOL SEATING
- 4 TABLE TENNIS GAMES AREA AND BBQ'S
- 5 SEATING AND WORK TABLE / BENCH
- 6 FIREPIT AREA WITH MOVEABLE SEATING





PAVING TYPE 4: PORCELAIN PAVERS 24 x 36



PAVING TYPE 5 PORCELAIN PAVERS MIX OF 24" x 24" & 12" x 24"



PAVING TYPE 6: STONE SLAB PAVERS



PAVING TYPE 7: PIP PLAY SURFACING



OUTDOOR CLIMBING WALL



DOG RUN AREA



OUTDOOR CINEMA



CUSTOM BENCH WITH MOVEABLE TABLES



MOVEABLE CAFE-STYLE SEATING



BIORETENTION PLANTER



FIRE PIT AREA



SOCIALIZATION AREAS WITH COUCHES AND TABLES



COERED KITCHENETTE / DINING AREA



OUTDOOR BBQ AND PREP TABLE AREA



COMMUNAL BANQUET TABLES



RAISED PLANTER OPTION: CONCRETE PLANTERS CIP BOARDFORM CONCRETE FINISH



TABLE TENNIS AND GAMES AREAS



AMENITY DECK GRASS AND PRENNIAL PLANTERS



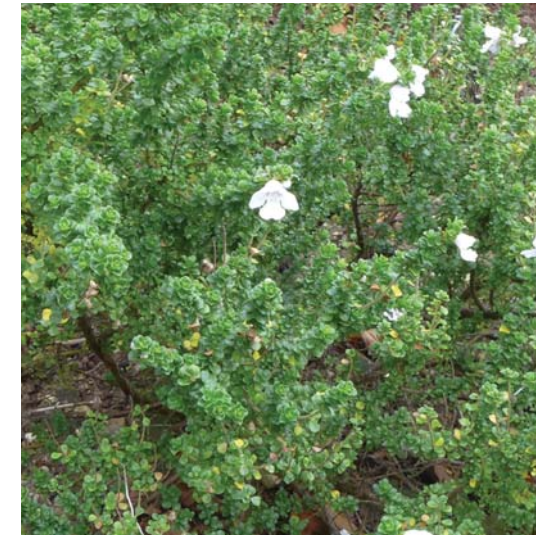
Japanese Snowbell
Styrax japonicus



Pin Oak
Quercus palustris



Japanese Maple
Acer palmatum 'Sango-kaku'



Alpine Mint Bush
Prostanthera cuneata



Hino White Azalea
Azalea japonica 'Hino White'



Siberian Bugloss
Brunnera macrophylla



Karl Foerster Feather Reed Grass
Calamagrostis x acutiflor 'Karl Foerster'



Hosta 'Blue Hawaii'
Hosta x 'Blue Hawaii'



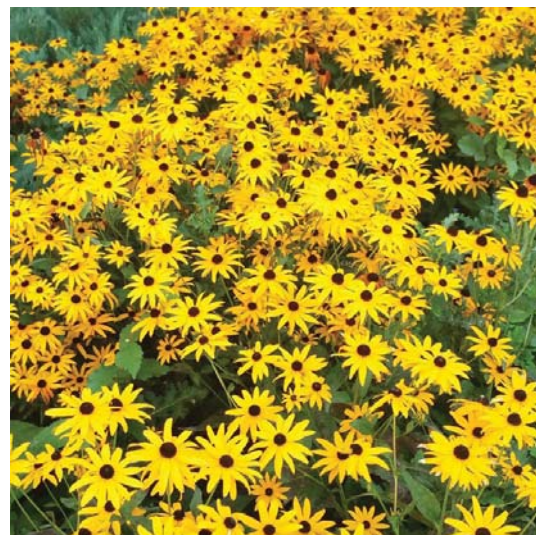
Hidcote Lavender
Lavandula angustifolia 'Hidcote'



Morning Light Maiden Grass
Miscanthus sinensis 'Morning Light'



Solomon Seal



Black-Eyed Susan



Swordleaf Rush

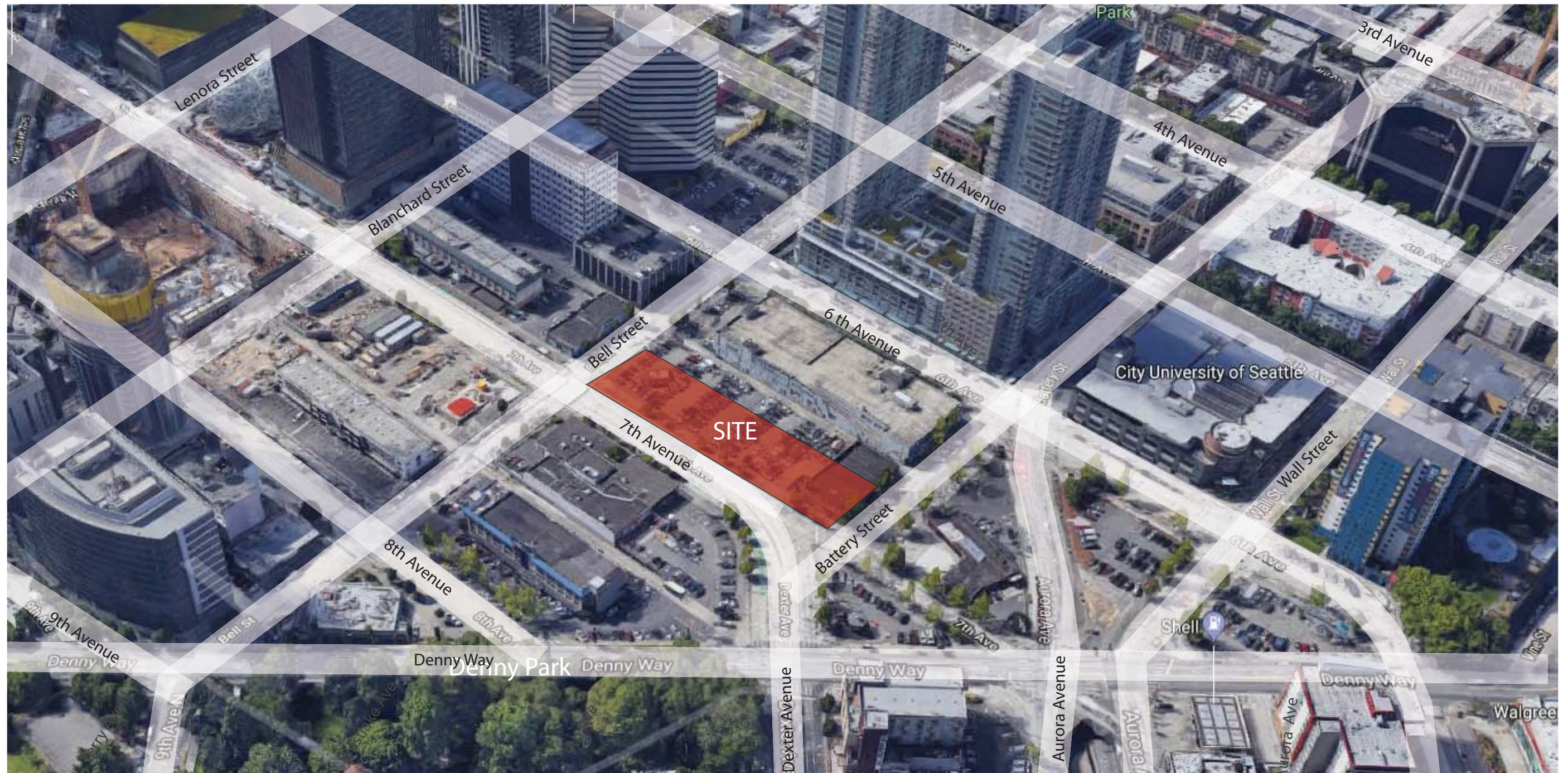


Soft-stemmed Bulrush



Dewey's Sedge

Site and Urban Context





A



B



C



D



E



F



G



H



I



J



K



L



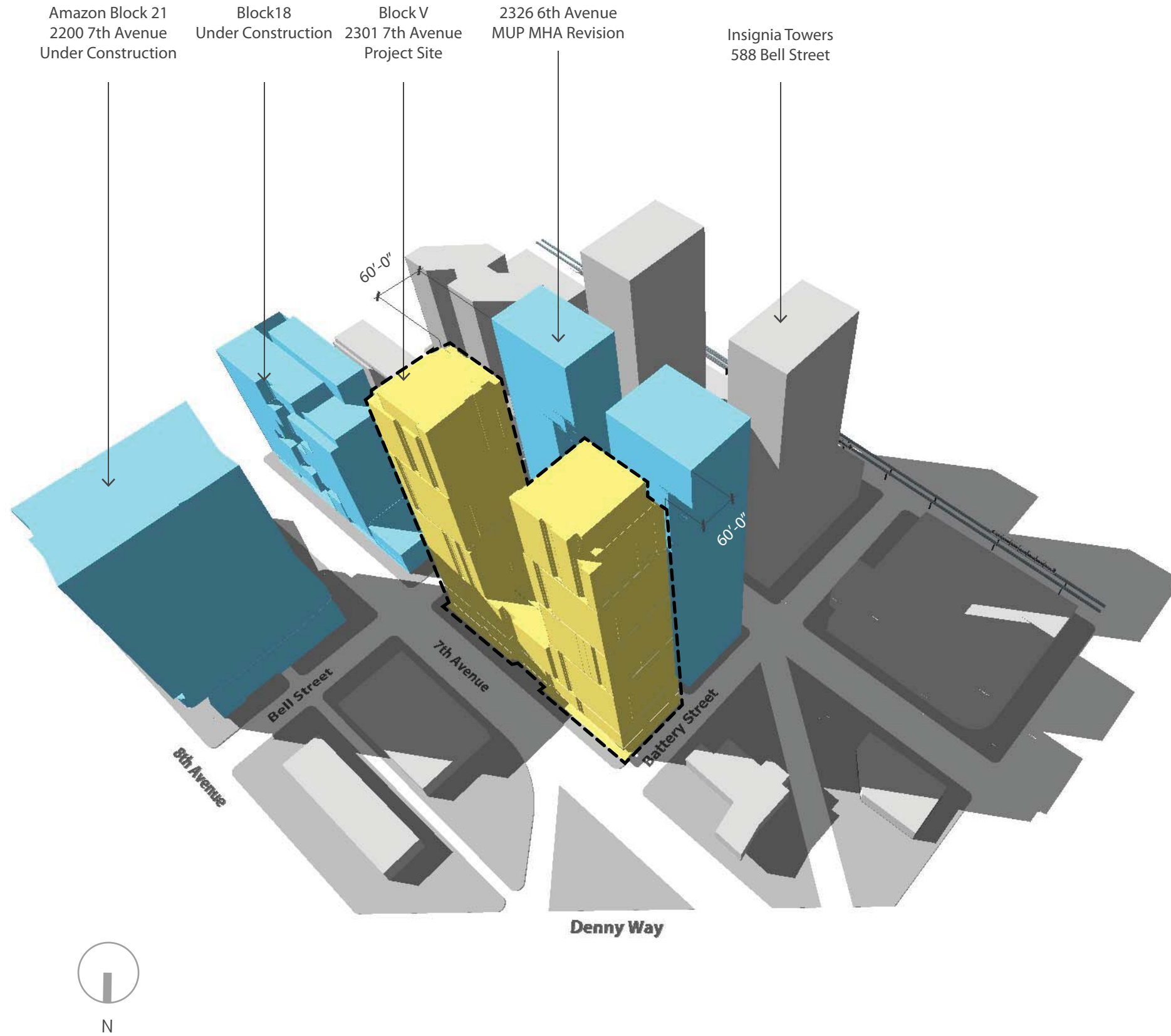
M



N

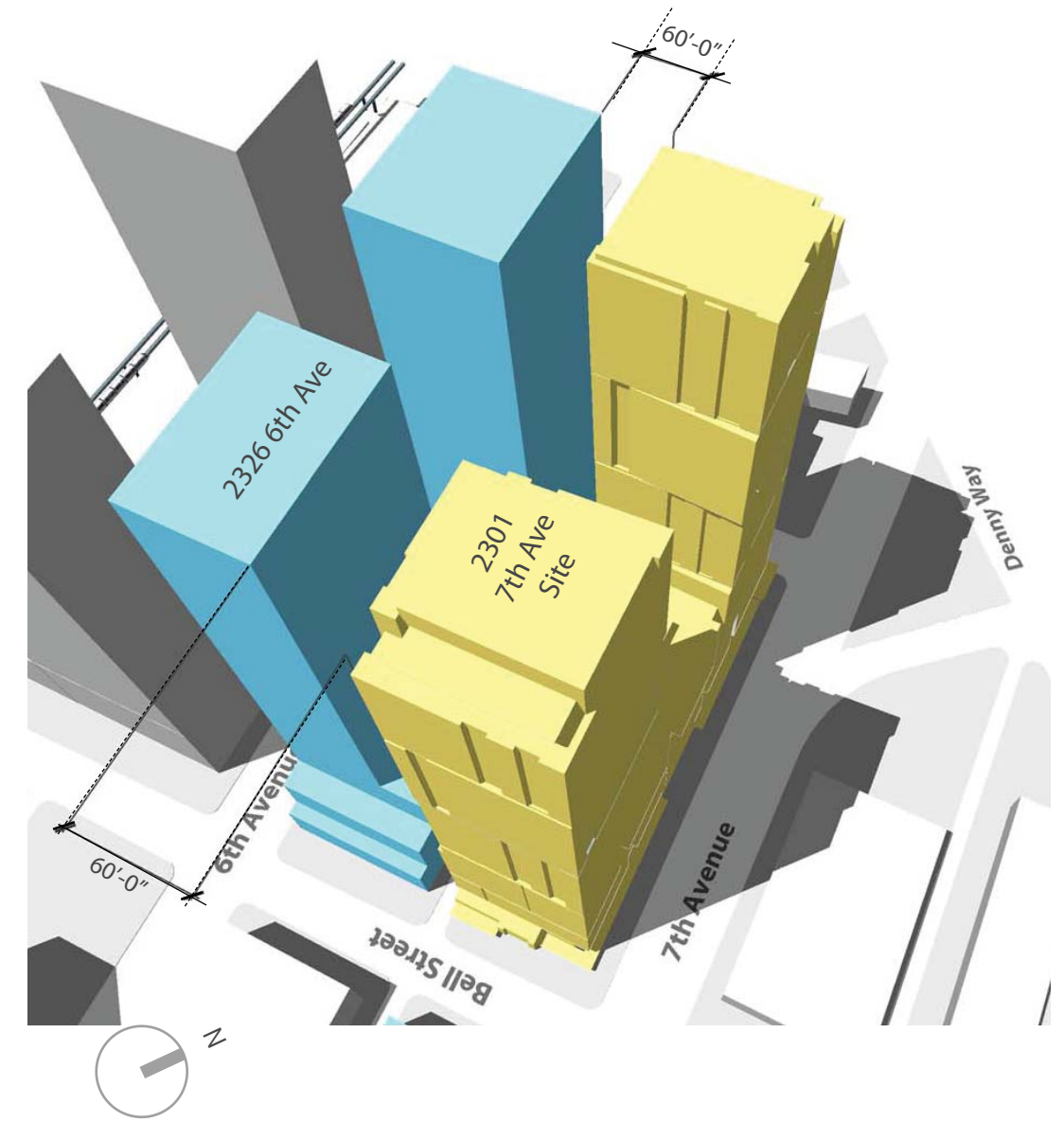
- | | |
|---|---|
| A. Towers (Proposed) | H. 6th and Bell Data Center (Proposed) |
| B. Elephant Car Wash | I. Blanchard Plaza |
| C. Best Western Hotel | J. Hotel 5- Seattle |
| D. School of Visual Concepts | K. Wexley School for Girls |
| E. Amazon BLock 18 (Under Construction) | L. Insignia Towers |
| F. Denny Building | M. City University |
| G. Denny Building Parking Garage | N. Amazon Block 21 (Under Construction) |





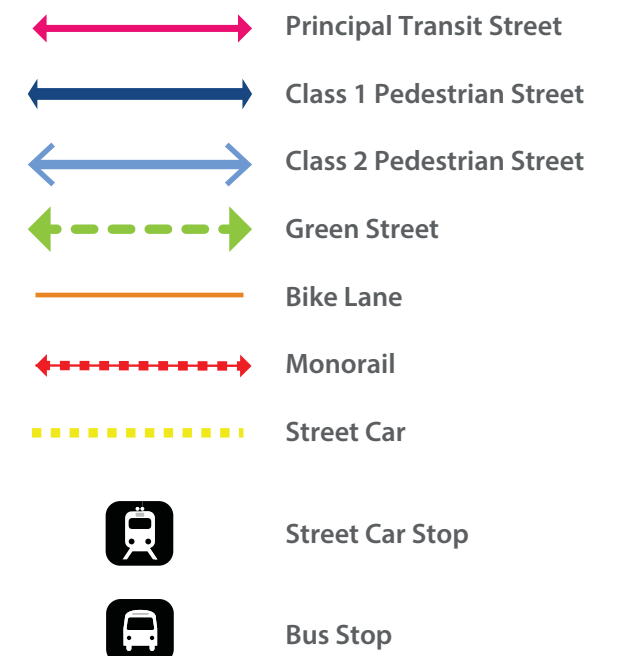
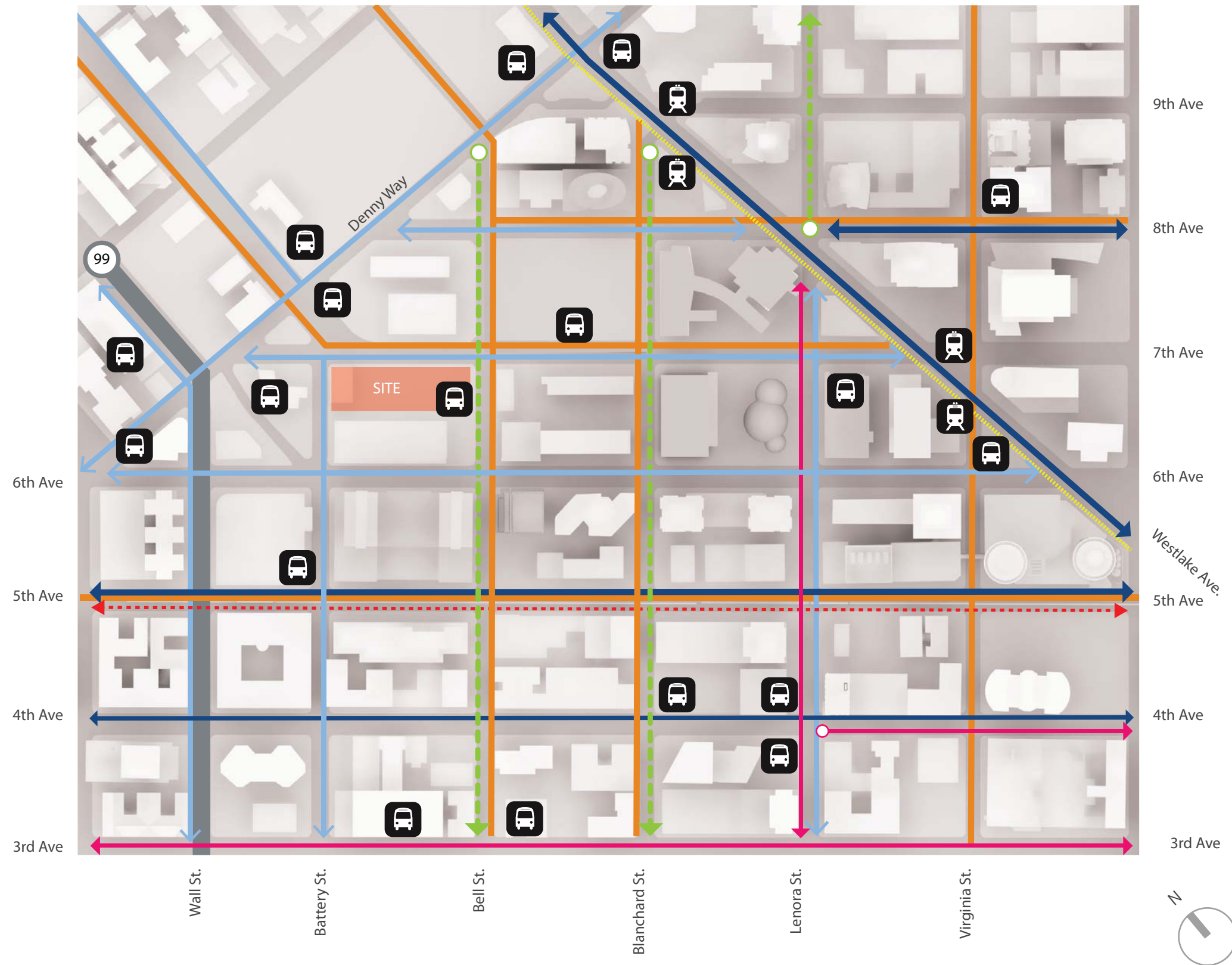
2301 7th Avenue has surrounding development either under review, in MUP process, or under construction. The 2326 6th Avenue site is currently under MUP MHA revision.

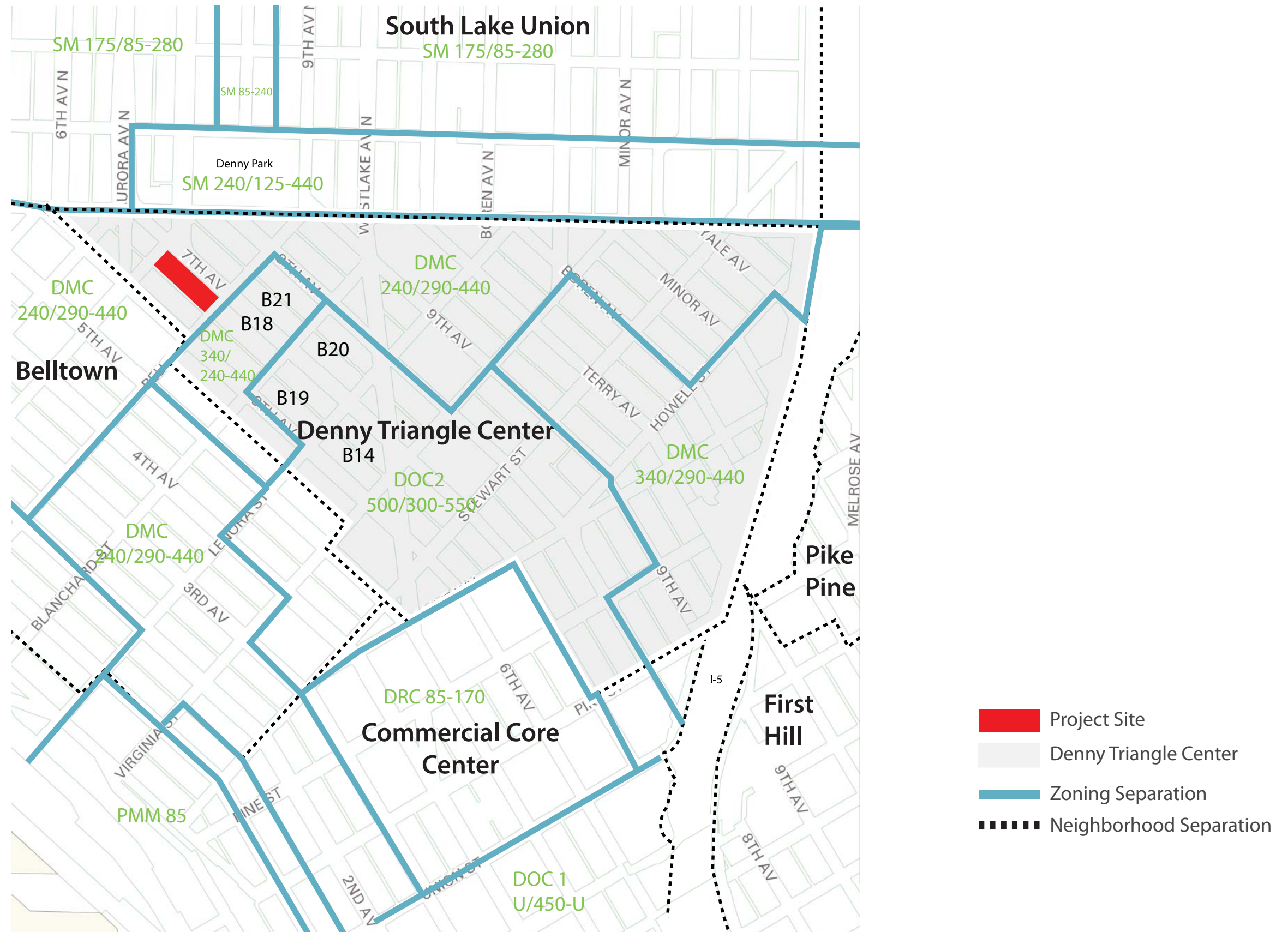
2301 7th Avenue will share an alley with 2326 6th Avenue which currently proposes two towers both being 60'-0" separated from Block V towers.

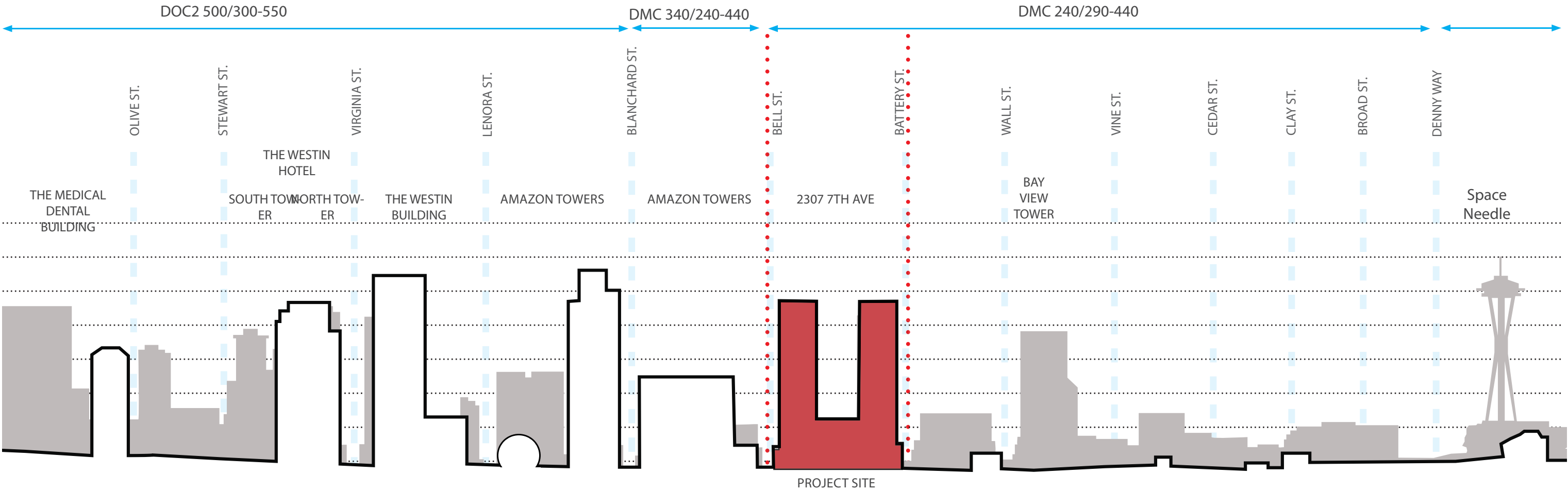


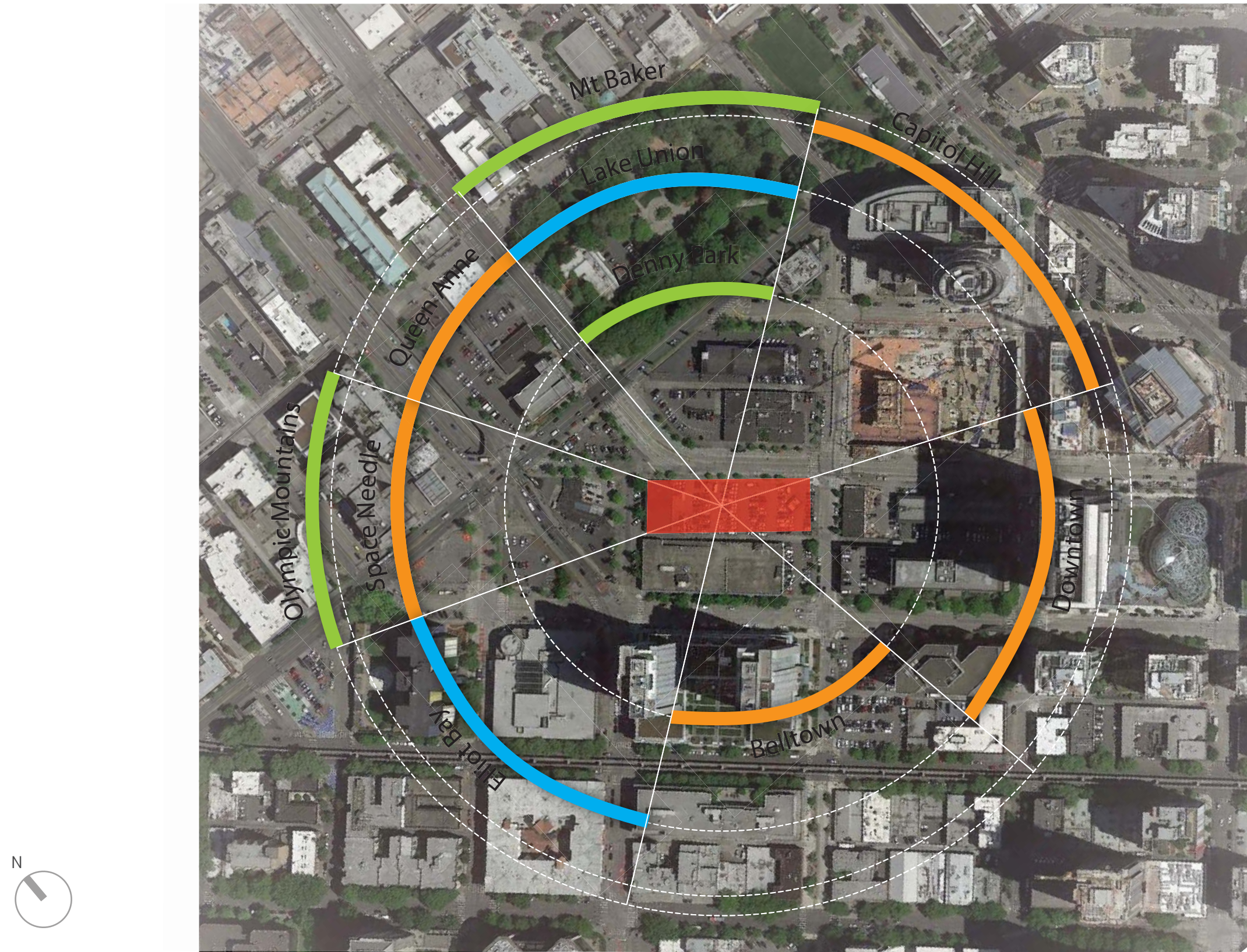
Denny Triangle:

The site is convenient for multiple modes of public transportation and is easily accessed by autos, cyclists, and pedestrians. Metro bus service is provided on Denny Ave, Dexter Ave and 7th Avenue. Seventh Avenue which the site fronts on, is the main access and egress thoroughfare for bicycle traffic, with numerous cross street bike lanes.









ZONING ANALYSIS: 7TH AND BELL

SITE ADDRESS: 2301 7TH AVENUE SEATTLE WA 98121
Zone DMC 240/ 290-440
Denny Triangle Urban Center Village

23.49.042 Permitted Uses

Standard

All uses are permitted outright except those prohibited by SMC 23.49.046, and parking, which shall be regulated by 23.49.045.

23.49.008 Structure Height

Standard

- Nonresidential Height Maximum: 240’ Base, 440’ Maximum
- Maximum residential height achievable through bonuses available in section 23.49.015

- Structure may exceed the maximum height limit by 10% of the limit if:
- The facades of the portion of the structure above the limit do not enclose an area greater than 9,000 SF.
 - The enclosed space is occupied only by those features otherwise permitted in this Section as an exception above the height limit. This shall not be combined with any other height exception to gain additional height.
 - Rooftop Features allowed above height limit:
 - Railings, planters, skylights, clerestories, greenhouses and parapets may extend up to 4’ above height limit.
 - Solar collectors may extend up to 7’ above height limit.
 - Mechanical equipment, stair penthouses, etc... may extend up to 15’ above the height limit.

Rooftop features may cover up to a combined coverage limit of 55%.

Elevator penthouses may extend up to 23’ above the height limit (8’ cab) or 24’ above the limit (9’ cab) plus an additional 10’ if elevator provides access to usable rooftop open space.

The amount of rooftop area enclosed by screening may exceed to maximum percentage of the combined coverage of all rooftop features.

Some rooftop features may extend up to 50’ above the maximum height through administrative conditional use per 23.49.008-D-4

23.49.009 Street-level Use Requirements

Standard

None required

23.49.010 General Requirements for Residential Uses

Standard

- Common recreation area is required for all new development containing more than 20 dwelling units. It must meet the following criteria:
- An area equivalent to 5% of the total GFA in residential use.
 - Available to all residents and be at or above ground level.
 - A maximum of 50% of the area may be enclosed.
 - Minimum horizontal dimension of 15’ and minimum size of 225 SF.
 - If provided as open space at street level it shall be counted as twice the actual area.

In mixed use projects a bonused public open space may be permitted to satisfy a portion of the common recreation area requirement per approval of the Director.

23.49.011 Floor Area Ratio

Standard

Base FAR: 5
Maximum FAR: 8

- Additional chargeable floor area above the base FAR may be obtained as outlined in section 23.49.011 and may include generally the following:
- Amenity Bonuses
 - Transfer Development Rights
 - Rural Development Credit
 - Housing and Child Care
 - A minimum of 5% of floor area above base FAR must be obtained through Landmark TDRs to the extent they are available.
 - FAR gained through housing and child care bonuses (23.49.012) together with housing (23.49.015) and landmark TDRs shall equal 75% of the area by which the total chargeable area permitted on the lot exceeds the base FAR.
 - At least ½ of the balance of the 25% shall be gained from a sending lot with a major performing arts center if available.
 - The balance of the 25% shall be gained through bonus floor area for amenities (23.49.013)
 - Applicant may gain additional floor area above the first increment of FAR above the base FAR through a use of MDC housing TDR, or any combination of DMC housing TDR with floor area gained through other TDR and bonuses as described above.
 - If bonus development sought is less than 5,000 SF the Director may permit all bonused area to be achieved through housing and child care.

- Areas Exempt from FAR:
- Street level use (retail) that has a minimum floor-floor of 13’, horizontal depth of 15’, and overhead weather protection is provided.
 - Child Care
 - Human Services
 - Residential use and live-work units
 - Museums and museum expansion spaces
 - Performing art theaters
 - Floor area below grade
 - Public rest rooms
 - Shower facilities for bicycle commuters
 - Certain area in Landmark structures
 - An allowance of 3.5% of GFA for mechanical equipment after all other deductions have been taken

Rooftop mechanical equipment, whither enclosed or not, shall be counted as part of the GFA of the structure except for those structures existing prior to June 1, 1989 or replacement mechanical equipment.

23.49.012 Bonus Floor Area for Voluntary Agreements for Housing and Child Care

Standard

Not Applicable (no bonus sought)

23.49.013 Bonus Floor Area for Amenities

Standard

Not Applicable (no bonus sought)

23.49.014 Transfer of Development Rights

Standard

Applicable. TDR's are being sought.

23.49.015 Bonus Floor Area for ... Low- and Moderate Income Housing

Standard

Not Applicable (no bonus sought)

23.49.016 Open Space

Standard

- Private Open Space – Office Use Requirements:
- 20 SF for every 1000 GSF of Office Use
 - Only applies to office use greater than 85,000 GSF: Office use less than 8,000 GSF is exempt.
 - Must be open to the sky, meet landscaping standards and be accessible to all tenants.

- On-site public open space
- Available for amenity feature bonus per section 23.49.013

- Off-site public open space
- Available for amenity feature bonus per section 23.49.013
 - Must be in a downtown zone within ¼ mile of the project site.
 - Must be open to the public without charge.
 - Minimum of 5,000 SF of contiguous area.

- Payment in lieu
- Payment in lieu of open space development is permitted if the Director determines that such payment will contribute to the improvement of a green street or there is public open space abutting the lot or in the vicinity.

23.49.017 Open Space TDR Site Eligibility

Standard

- Basic criteria to qualify as a sending TDR lot:
- Contiguous open space with a minimum area of 15,000 SF
 - A network of adjacent open space physically and visually connected with a minimum area of 30,000 SF
 - Accessible to the public
 - Not more than 20% of the lot area occupied by above grade structures
 - Other landscape and accessibility criteria apply.

23.49.018 Overhead weather protection and lighting

Standard

- Continuous weather protection is required along entire street frontage
- Exceptions:
- If set back farther than 5; from property line
 - Abuts a bonused open space or amenity feature
 - If separated from the street property line by a landscaped area at least 2’ in width
 - Driveways and loading docks

- Dimensions:
- Minimum 8’ from building wall of within 2’ of curb line, whichever is less
 - Lower edge minimum height of 10’ and a maximum of 15’
 - Pedestrian lighting to be provided

23.49.019 Parking quantity, location and access requirements, and screening and landscaping of surface parking areas
Standard

- No parking, either long-term or short-term, is required on lots in Downtown zones
- On Blanchard Street and Bell Street (green street), parking is permitted at street level only if separated from the street by other uses
 - On 8th Avenue (class II pedestrian street), parking is permitted at street level if it meets the standards of 23.49.019B, including:
 - At least 30% of the street frontage (excluding garage doors) is separated from the street by other uses;
 - The facade of the separating uses meets the transparency and blank wall standards for class I ped. Streets;
 - The portion of parking not separated by other uses is screened, and;
 - The street facade is enhanced by detailing, artwork, landscaping, etc...
 - Parking not at street level within structures must be located below street level or separated from street level by other uses
 - Up to four levels of above grade parking may be permitted if it meets the standards of 23.49.019B

- Maximum parking limit for nonresidential uses
- Parking for nonresidential uses is limited to one parking space per every 1,000 square feet of gross floor area in nonresidential use.
 - Parking for nonresidential uses may be permitted to exceed the maximum standard as a special exception as granted by the Director.
 - Access to parking and loading shall be from the alley when the lot abuts an improved alley.

- Bicycle Parking (Minimums):
- Office 1 space per 2,000 SF long term; 1 per 10,000 SF short term
 - Retail 1 space per 5,000 SF long term; 1 per 1,000 SF short term
 - Residential first 50 spaces: 1 per unit long term; 1 per 20 units short term

After the first 50 spaces are provided additional spaces are required at 75% the ratio noted

Structures containing more than 100,000 SF of office space shall include shower facilities

Off-Street loading spaces hall be provided per 23.54.030

23.49.022 Minimum sidewalk and alley width
Standard

Minimum sidewalk width on Battery Street, Bell Street and 7th Avenue: 12’

Minimum alley width: 20’, achievable through setback or dedication if required.

23.49.032 Additions of chargeable floor area to lots with existing structures.
Standard

Not applicable. Only applies to projects where existing structures to be retained are in excess of the applicable base FAR.

23.49.035 Modified or discontinued public benefit feature

Standard

All public benefit features except housing and landmark performing arts theaters shall remain for the life of the structure that includes the additional GFA unless otherwise specified in this section. A public benefit feature may be diminished of discontinued only if:

- It is not housing or child care
- Additional GFA permitted in return for the feature is removed or converted to a use that is not counted as chargeable floor area
- An amount of chargeable floor area equal to that obtained by the feature to be replaced is provided pursuant to provisions for granting floor area above the base FAR in chapter

Modifications of amenity features that do not result in the diminishment or discontinuation of the feature may be permitted by the Director provided it meets the condition of the Downtown Amenity Standards.

23.49.045 Parking
Standard

Principal use parking garages for short-term parking may be permitted as conditional use.

In DMC zones, principal use long-term and short-term surface parking may be permitted as administrative conditional use.

Accessory parking garages for both long-term and short-term parking are permitted outright up to the maximum parking limit established by 23.49.019

23.49.056 Street facade, landscaping and street setback requirements
Standard

- Minimum facade heights:
- 7th Avenue (class II pedestrian street): 15’
 - Battery Street (class II pedestrian street): 15’
 - Bell Street (green streets): 25’

- Setbacks
- The maximum setback of the facade from the street lot lines at intersections is 10 feet. The minimum distance the facade must conform to this limit is 20 feet along each street.
 - Any exterior public open space that meets the Downtown Amenity Standards, whether it receives a bonus or not, and any outdoor common recreation area required for residential uses, is not considered part of a setback.
 - If a sidewalk is widened into the lot as a condition to development, setback standards shall be measured to the line established by the new sidewalk width rather than the street lot line.

- Transparency and blank facade requirements;
- Transparency requirements do not apply to portions of structures in residential use.
 - Along 7th Avenue and Battery Street (class II pedestrian streets) 40% of street facade to be transparent between 2’ and 8’ above sidewalk level.
 - Along Bell Street (green street) 60% of street facade to be transparent between 2’ and 8’ above sidewalk level.
 - Blank facade requirements do not apply to portions of structures in residential use.
 - On 7th Avenue and Battery Street blank facades limited to segments 30’ except garaged doors which may be wider than 30’.
 - On 7th Avenue and Battery Street the total of all blank facade segments shall not exceed 70% of the street facade.

- On Bell Street blank facades limited to segments 15’ except for garage doors which may be wider than 30’.
- On Bell Street the total of all blank facade segments shall not exceed 40% of the street facade.
- Blank facade sections shall be separated by transparent area at least 2’ wide

Street trees are required on all streets.

- Landscaping in the Denny Triangle Urban Village
- All areas abutting a street lot line that are not covered by a structure, have a depth of 10 feet or more, and are larger than 300 SF shall be landscaped.
 - Setbacks required to meet minimum sidewalk widths shall be exempt from landscape requirements.

23.49.058 Upper-Level Development Standards
Standard

- “Tower” Definition
- Any structure where a portion is above a height of 85 feet in a structure that has any nonresidential use above 65 feet or does not have residential use above a height of 160 feet

- Facade modulation and upper-level width limits apply to:
- Structures 160’ in height or less in which any story above 85’ exceeds 15,000 SF
 - Portions of structures in non-residential use above a height of 160’ in which any story above

- 23.49.058B Facade modulation (non-residential)
- Required of street facing facades within 15’ of street above 85’.
 - Maximum facade length without modulation within 15’ of street lot line:
 - 155’ facade length from elevation 86 to 160 feet.
 - 125’ facade length from elevation 161 to 240 feet.
 - 100’ facade length from elevation 241 to 500 feet.
 - 80 facade length for elevations above 500 feet.
 - Modulation defined as at least 15’ deep step back from facade at least 60’ long.

- Tower floor area limitations (DMC)
- Applies only to portions of structures with residential use above 160’.
 - Average residential GFA per story of a tower if height does not exceed base height limit for residential use: 10,000 SF
 - Average residential GFA per story of a tower when height exceeds base height limit for residential use: 10,700 SF
 - Maximum residential floor area of any story in a tower: 11,500 SF
 - In DMC zones the maximum facade width for portions of a building above 85’ along the general north/south axis of a site (parallel to the Avenues) is 120’ or 80% of the width of the lot measured on the Avenue, whichever is less.

- Tower Separation
- On DMC sites zoned with a maximum height limit of more than 160’ located in the Denny Triangle Urban Village, if any part of a tower exceeds 160’ then all portions of the tower that are above 125’ must be separated by a minimum of 60; from any portion of any other existing tower above 125’ in height. From a structure allowed pursuant to the Land Use Code in effect prior to the effective date of March 20th 2006 Ordinance 122054.

- Upper level setbacks
- When a lot in a DMC Zone is located on a designated greet street, a continuous upper-level setback of 15’ shall be provided on the street frontage abutting the green street at a height of 45 feet.

THANK YOU.